

CHAPTER 806
OFF-STREET PARKING, LOADING, AND DRIVEWAYS

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806.001. Purpose. The purpose of this Chapter is to establish standards for off-street parking and vehicle use areas, bicycle parking, loading areas, and driveways. (Ord No. 31-13)

806.005. Off-Street Parking; When Required.

(a) **General Applicability.** Off-street parking shall be provided and maintained as required under this Chapter for:

- (1) Each proposed new use or activity.
- (2) Any change of use or activity, when such change of use or activity results in a parking ratio requiring a greater number of spaces than the previous use or activity.
- (3) Any intensification, expansion, or enlargement of a use or activity.

(b) **Applicability to Downtown Parking District.** Within the Downtown Parking District, off street parking shall only be required and maintained for uses or activities falling under Household Living.

(c) **Applicability to Nonconforming Off-Street Parking Areas.** When off-street parking is required to be added to an existing off-street parking area that has a nonconforming number of spaces, the number of spaces required under this Chapter for any new use or activity, any change of use or activity, or any intensification, expansion, or enlargement of a use or activity shall be provided, in addition to the number of spaces required to remedy the existing deficiency. (Ord No. 31-13)

806.010. Proximity of Off-Street Parking to Use or Activity Served. Required off-street parking shall be located on the same development site as the use or activity it serves or in the following locations:

(a) **Residential Zones.** Within residential zones, required off-street parking may be located within 200 feet of the development site containing the use or activity it serves.

(b) **Non-Residential Zones.** Within commercial, mixed-use, public, and industrial and employment zones, other than the CB and SWMU zones, required off-street parking may be located within 500 feet of the development site containing the use or activity it serves.

- (c) **Central Business District Zone.** Within the Central Business (CB) zone:
- (1) Off-street parking for customers may be located within 800 feet of the development site containing the use or activity it serves; and
 - (2) Off street parking for employees or residents may be located within 2,000 feet of the development site containing the use or activity it serves.
- (d) **South Waterfront Mixed-Use Zone.** Within the South Waterfront Mixed Use (SWMU) zone, required off-street parking may be located anywhere within the South Waterfront Mixed Use (SWMU) zone. Required off-street parking shall not be located in a different zone.
- (e) **Broadway/High Street Retail Overlay Zone, Broadway/High Street Housing Overlay Zone and Broadway/High Street Transition Overlay Zone.** Within the Broadway/High Street Retail Overlay Zone, Broadway/High Street Housing Overlay Zone and Broadway/High Street Transition Zone, required off-street parking may be located within 800 feet of the development site containing the use or activity it serves.
- (f) **Exception.** Notwithstanding subsections (a) through (d) of this section, where required off-street parking is to be located off-site from the use or activity it serves, it shall only be located in a zone where the use or activity it serves is allowed, or where Commercial Parking is allowed. (Ord No. 31-13)

806.015. Amount Off-Street Parking.

- (a) **Minimum Required Off-Street Parking.** Unless otherwise provided under the UDC, off-street parking shall be provided in amounts not less than those set forth in Table 806-1.

**TABLE 806-1
MINIMUM OFF-STREET PARKING**

Table 806-1: Minimum Off-Street Parking		
Use	Minimum Number of Spaces Required ⁽¹⁾	Limitations & Qualifications
Household Living		
Single Family	2	Applicable to all Single Family, unless noted below.
	1	Applicable to Single Family located within the CSDP area.
Two Family	2 per dwelling unit	Applicable to all Two Family, unless noted below.
	1 per dwelling unit	Applicable to Two Family located within the CSDP area.
	3	Applicable to Two family shared dwellings.
Multiple Family	2 per dwelling unit	Applicable to Multiple Family consisting of 3 dwelling units.
	1 per dwelling unit	Applicable to Multiple Family consisting of 3 dwelling units located within the CSDP area.
	1.5 per dwelling unit	Applicable to Multiple Family consisting of 4 or more dwelling units.
	1 per dwelling unit	Applicable to Multiple Family consisting of 4 or more dwelling units located within the CSDP area.

Table 806-1: Minimum Off-Street Parking

Use	Minimum Number of Spaces Required ⁽¹⁾	Limitations & Qualifications
	1 per 4 dwelling units	Applicable to low income elderly housing.
Group Living		
Room and Board Facilities	1 per guest room or suite	
Residential Care	1 per 350 sq. ft.	
Nursing Care	1 per 3 beds	
Lodging		
Short-Term Commercial Lodging	1 per guest room or suite	
Long-Term Commercial Lodging		
Non-Profit Shelters	1 per 350 sq. ft.	
Retail Sales and Service		
Eating and Drinking Establishments	1 per 250 sq. ft.	
Retail Sales	1 per 900 sq. ft.	Applicable to the following Retail Sales activities: <ul style="list-style-type: none"> ▪ Building materials, hardware, nurseries, and lawn and garden supply stores. ▪ Auto supply stores. ▪ Furniture and home furnishing stores. ▪ Household appliance and radio, television, music, and consumer electronics stores.
	1 per 250 sq. ft.	Applicable to all other Retail Sales.
Personal Services	1 per 1,000 sq. ft.	Applicable to laundry, dry cleaning, and garment services.
	1 per 350 sq. ft.	Applicable to all other Personal Services.
Postal Services and Retail Financial Services	1 per 500 sq. ft.	
Shopping Center	1 per 250 sq. ft.	
Business and Professional Services		
Office	1 per 350 sq. ft.	
Audio/Visual Media Production		
Laboratory Research and Testing		
Office Complex		
Motor Vehicle, Trailer, and Manufactured Dwelling Sales and Service		

Table 806-1: Minimum Off-Street Parking

Use	Minimum Number of Spaces Required ⁽¹⁾	Limitations & Qualifications
Motor Vehicle and Manufactured Dwelling and Trailer Sales	1 per 900 sq. ft.	
Motor Vehicle Services		
Taxicabs and Car Services		
Heavy Vehicle and Trailer Sales		
Heavy Vehicle and Trailer Service and Storage		
Commercial Parking	N/A	
Park-and-Ride Facilities		
Recreation, Entertainment, and Cultural Services and Facilities		
Commercial Entertainment – Indoor	1 per 5 seats or 10 feet of bench length	Applicable to theaters.
	3 per court, plus additional 1 per 5 seats or 10 feet of bench length	Applicable to tennis, racquetball, and handball courts.
	1 per 300 sq. ft.	Applicable to all Commercial Entertainment – Indoor.
Commercial Entertainment – Outdoor	3 per court, plus additional 1 per 5 seats or 10 feet of bench length	Applicable to tennis, racquetball, and handball courts.
	4 per tee	Applicable to golf courses.
	1 per 2,000 sq. ft. of gross site area	Applicable to all other Commercial Entertainment – Outdoor.
Major Event Entertainment	The greater of the following: 1 per 5 seats or 10 feet of bench length; or 1 per 25 sq. ft. of floor area of assembly space.	
Recreational and Cultural Community Services	4 per tee	Applicable to golf courses.
	1 per 350 sq. ft.	Applicable to all other indoor Recreational and Cultural Community Services.
	1 per 2,000 sq. ft. of gross site area	Applicable to all other outdoor Recreational and Cultural Community Services.
Parks and Open Space	None	
Non-Profit Membership Assembly	1 per 350 sq. ft.	

Table 806-1: Minimum Off-Street Parking

Use	Minimum Number of Spaces Required ⁽¹⁾		Limitations & Qualifications
Religious Assembly	1 per 5 seats or 10 feet of bench length within the principle worship area; or 1 per 80 sq. ft. within the principal worship area, when no fixed seating or benches are provided.		
Health Services			
Medical Centers/Hospitals	1.5 per bed		
Outpatient Medical Services and Laboratories	1 per 350 sq. ft.		
Education Services			
Day Care	1	Day Care serving 1 to 12 persons	Parking requirement applies in addition to spaces required for any dwelling.
	2	Day Care serving 13 to 18 persons	
	3	Day Care serving 19 to 26 persons	
	4	Day Care serving 27 or more persons	
Basic Education	2 per classroom		Applicable to elementary schools.
	1 per 6 students		Applicable to secondary schools. The number of students shall be calculated based on the total number of students the school is designed to accommodate.
Post-Secondary and Adult Education	1 per 350 sq. ft.		Applicable to vocational and trade schools.
	1 per 4 students		Applicable to all other Post-Secondary and Adult Education. The number of students shall be calculated based on the total number of students the school is designed to accommodate.
Civic Services			
Governmental Services	1 per 500 sq. ft.		
Social Services	1 per 350 sq. ft.		

Table 806-1: Minimum Off-Street Parking

Use	Minimum Number of Spaces Required ⁽¹⁾	Limitations & Qualifications
Governmental Maintenance Services and Construction	The greater of the following: 0.75 per employee; or 1 per 5,000 sq. ft. (Less than 50,000 sq. ft.) 1 per 10,000 sq. ft. (50,000 to 100,000 sq. ft.) 1 per 15,000 sq. ft. (Greater than 100,000 sq. ft.)	
Public Safety		
Emergency Services	1 per employee, plus 1 additional space per ambulance	Applicable to ambulance stations.
	1 per 500 sq. ft.	Applicable to all other Emergency Services.
Detention Facilities	1 per 2,000 sq. ft.	
Military Installations	1 per 500 sq. ft.	
Funeral and Related Services		
Cemeteries	1 per 350 sq. ft.	
Funeral and Cremation Services	1 per 5 seats or 10 feet of bench length in the chapel	
Construction Contracting, Repair, Maintenance, and Industrial Services		
Building and Grounds Services and Construction Contracting	The greater of the following: 0.75 per employee; or 1 per 5,000 sq. ft. (Less than 50,000 sq. ft.) 1 per 10,000 sq. ft. (50,000 to 100,000 sq. ft.) 1 per 15,000 sq. ft. (Greater than 100,000 sq. ft.)	
Industrial Services		
General Repair Services	1 per 350 sq. ft.	
Cleaning Plants	1 per 1,000 sq. ft.	
Wholesale Sales, Storage, and Distribution		
General Wholesaling	1 per 1,500 sq. ft.	
Heavy Wholesaling		
Warehousing and Distribution	The greater of the following: 0.75 per employee; or 1 per 5,000 sq. ft. (Less than 50,000 sq. ft.) 1 per 10,000 sq. ft. (50,000 to 100,000 sq. ft.) 1 per 15,000 sq. ft. (Greater than 100,000 sq. ft.)	
Self Service Storage		
Manufacturing		
General Manufacturing	The greater of the following:	

Table 806-1: Minimum Off-Street Parking

Use	Minimum Number of Spaces Required ⁽¹⁾	Limitations & Qualifications
Heavy Manufacturing	0.75 per employee or: 1 per 5,000 sq. ft. (Less than 50,000 sq. ft.) 1 per 10,000 sq. ft. (50,000 to 100,000 sq. ft.) 1 per 15,000 sq. ft. (Greater than 100,000 sq. ft.)	
Printing		
Transportation Facilities		
Aviation Facilities	The greater of the following: 0.75 per employee or: 1 per 5,000 sq. ft. (Less than 50,000 sq. ft.) 1 per 10,000 sq. ft. (50,000 to 100,000 sq. ft.) 1 per 15,000 sq. ft. (Greater than 100,000 sq. ft.)	
Passenger Ground Transportation Facilities;		
Marine Facilities	1 per boat berth or docking space.	Applicable to marinas.
	The greater of the following: 0.75 per employee or: 1 per 5,000 sq. ft. (Less than 50,000 sq. ft.) 1 per 10,000 sq. ft. (50,000 to 100,000 sq. ft.) 1 per 15,000 sq. ft. (Greater than 100,000 sq. ft.)	Applicable to all other Marine Facilities.
Utilities		
Basic Utilities	The greater of the following: 0.75 per employee or: 1 per 5,000 sq. ft. (Less than 50,000 sq. ft.) 1 per 10,000 sq. ft. (50,000 to 100,000 sq. ft.) 1 per 15,000 sq. ft. (Greater than 100,000 sq. ft.)	
Drinking Water Treatment Facilities		
Power Generation Facilities		
Data Center Facilities		
Waste Related Facilities		
Wireless Communication Facilities	None	
Fuel Dealers	1 per 200 sq. ft.	
Mining and Natural Resource Extraction		
Petroleum and Natural Gas Production	The greater of the following: 0.75 per employee or:	

Table 806-1: Minimum Off-Street Parking		
Use	Minimum Number of Spaces Required ⁽¹⁾	Limitations & Qualifications
Surface Mining	1 per 5,000 sq. ft. (Less than 50,000 sq. ft.) 1 per 10,000 sq. ft. (50,000 to 100,000 sq. ft.) 1 per 15,000 sq. ft. (Greater than 100,000 sq. ft.)	
Farming, Forestry, and Animal Services		
Agriculture	5	Applicable when retail sales are involved.
Forestry		
Agriculture and Forestry Services	The greater of the following: 0.75 per employee or: 1 per 5,000 sq. ft. (Less than 50,000 sq. ft.) 1 per 10,000 sq. ft. (50,000 to 100,000 sq. ft.) 1 per 15,000 sq. ft. (Greater than 100,000 sq. ft.)	
Keeping of Livestock and Other Animals	1 per 400 sq. ft.	
Animal Services	1 per 400 sq. ft.	
Other Uses		
Temporary Uses	Per SRC Chapter 701	
Home Occupations	1 per non-resident employee	Parking requirement applies in addition to spaces required for the dwelling unit.
(1) Unless otherwise provided, when required off-street parking is expressed in terms of a number of spaces per a square footage, the square footage shall equal the gross floor area.		

(b) **Compact Parking.** Up to 75 percent of the minimum off-street parking spaces required under this Chapter may be compact parking spaces.

(c) **Carpool and Vanpool Parking.** New developments with 60 or more required off-street parking spaces, and falling within the Public Services and Industrial use classifications, and the Business and Professional Services use category, shall designate a minimum of 5 percent of their total off-street parking spaces for carpool or vanpool parking.

(d) **Maximum Off-Street Parking.** Unless otherwise provided under the UDC, off-street parking shall not exceed the amounts set forth in Table 806-2.

**TABLE 806-2
MAXIMUM OFF-STREET PARKING**

Table 806-2: Maximum Off-Street Parking	
Minimum Number of Off-Street Parking Spaces Required (From Table 806-1)	Maximum Number of Off-Street Parking Spaces Allowed
20 Spaces or Less	2.5 times minimum number of spaces required.
More than 20 Spaces	1.75 times minimum number of spaces required.

(e) Reductions to Required Off-Street Parking through Alternative Modes of Transportation.

(1) Construction of Transit Related Improvements. When adjacent to transit service, minimum required off-street parking may be reduced by up to 10 percent for redevelopment of an existing off-street parking area for transit-related improvements, including transit stops, pullouts and shelters, park and ride lots, transit-oriented developments, and similar facilities.

(2) Satisfaction of Off-Street Parking through Implementation of a Plan for Alternative Modes of Transportation. Minimum required off-street parking for uses or activities other than Household Living may be reduced through implementation of a plan providing for the use of alternative modes of transportation to decrease the need for off-street parking. The plan shall be reviewed as a Class 2 Adjustment under SRC Chapter 250. (Ord No. 31-13)

806.020. Method of Providing Off-Street Parking.

(a) Off-street parking shall be provided through one or more of the following methods:

(1) Ownership. Ownership in fee by the owner of the property served by the parking;

(2) Easement. A permanent and irrevocable easement appurtenant to the property served by the parking;

(3) Lease Agreement. A lease agreement with a minimum term of 5 years; such agreement may be utilized for:

(A) Uses or activities other than Single Family and Two Family in all zones other than the Central Business (CB) zone; and

(B) All uses in the Central Business (CB) zone;

(4) Lease or Rental Agreement in Parking Structure. A lease or rental agreement in an off-street parking facility established pursuant to ORS 223.805 to 223.845; such agreement may be utilized for:

(A) Uses or activities other than Single Family and Two Family in all zones other than the Central Business (CB) zone; and

(B) All uses in the Central Business (CB) zone;

(5) Joint Parking Agreement. A joint parking agreement between the owners of two or more uses or activities, buildings or structures, or lots may be approved by the City. Joint use of required off-street parking spaces through a joint parking agreement may occur where two or more uses or activities on the same or separate development sites are able to share the same parking spaces because their parking demands occur at different times. Joint parking shall meet the following standards:

(A) Proximity of Joint Parking to Uses or Activities Served. Joint parking areas shall be located as set forth in SRC 806.010.

(B) Compatible Hours of Operation. The hours of operation for the uses or activities subject to a joint parking agreement shall not substantially overlap and there shall be no substantial conflict in the principal operating hours.

(b) Review and Filing of Agreement. Prior to execution of any lease, rental, or joint parking agreement set forth in this section, the form of such agreement shall be reviewed by the City Attorney. An executed copy of the approved agreement shall be filed with the Planning Administrator.

(c) Effect of Expiration or Termination of Agreement. Upon expiration or termination of any lease, rental, or joint parking agreement set forth in this section, the parking requirements set forth in this Chapter shall be fully met within 60 days of the date of such expiration or termination or the use or activity discontinued until the parking requirements are met. (Ord No. 31-13)

806.025. Off-Street Parking and Vehicle Storage Area Development Standards for Single Family and Two Family Uses or Activities. Unless otherwise provided under the UDC, off-street parking and vehicle storage areas for Single Family and Two Family uses or activities shall be developed and maintained as provided in this section.

(a) Location within Yards.

(1) Front Yard Abutting Street. Within a front yard abutting a street, off-street parking and vehicle storage shall be allowed only:

- (A)** Within a garage or carport; or
- (B)** On a driveway leading to:
 - (i)** A garage or carport;
 - (ii)** A screened off-street parking area; or
 - (iii)** A screened vehicle storage area.

(2) Side and Rear Yards Abutting Street. Within side and rear yards abutting a street, off-street parking and vehicle storage shall be allowed only:

- (A)** Within a garage or carport;
- (B)** Within an off-street parking area or vehicle storage area that is screened as set forth in SRC 806.025(f); or
- (C)** On a driveway leading to:
 - (i)** A garage or carport;
 - (ii)** A screened off-street parking area; or
 - (iii)** A screened vehicle storage area.

(3) Interior Front, Side, and Rear Yards. Within interior front, side, and rear yards, off-street parking and vehicle storage shall be allowed only:

- (A)** Within a garage or carport;
- (B)** Within an off-street parking area or vehicle storage area that is screened as set forth in SRC 806.025(f); or
- (C)** On a driveway leading to:
 - (i)** A garage or carport;
 - (ii)** A screened off-street parking area; or
 - (iii)** A screened vehicle storage area.

(b) Garage or Carport Vehicle Entrance Setback Abutting Street or Flag Lot Accessway. The vehicle entrance of a garage or carport facing a street or flag lot accessway shall be setback a minimum of 20 feet.

(c) Dimensions. Off-street parking spaces shall conform to the minimum dimensions set forth in Table 806-3.

**TABLE 806-3
MINIMUM OFF-STREET PARKING SPACE DIMENSIONS**

Table 806-3: Minimum Off-Street Parking Space Dimensions		
Type of Space	Width	Depth
Compact	8 ft.	15 ft.
Standard	9 ft.	19 ft.

(d) Maneuvering. Where access to off-street parking is taken from an alley, a minimum maneuvering depth of 24 feet shall be provided between the back of the parking space and the opposite side of the alley.

(e) Surfacing. Any area that is used for off-street parking shall be paved with a hard surface material meeting the Public Works Design Standards. Vehicle storage areas are not required to be paved.

(f) Screening. Off-street parking areas and vehicle storage areas shall be screened as follows:

(1) Off-street parking areas located within a garage or carport or on a driveway are not

required to be screened. All other off-street parking areas shall be screened from all public areas, public streets, and abutting residential uses by a minimum 6-foot-tall sight-obscuring fence, wall, or hedge.

(2) Vehicle storage areas within an enclosed structure or on a driveway are not required to be screened. All other vehicle storage areas shall be screened from all public areas, public streets, and abutting residential uses by a minimum 6-foot-tall sight-obscuring fence, wall, or hedge. (Ord No. 31-13)

806.030. Driveway Development Standards for Single Family and Two Family Uses or Activities.

Unless otherwise provided under the UDC, driveways for Single Family and Two Family uses or activities shall be developed and maintained as provided in this section.

(a) **Location.** Driveways crossing from the lot line to a permitted off-street parking area by the shortest direct route shall be permitted within yards abutting streets.

(b) **Dimensions.** Driveways shall conform to the minimum dimensions set forth in Table 806-4. The minimum width of a driveway serving more than one parking space must meet the standard set forth in Table 806-4 for only the first 20 feet of depth behind the parking spaces served; beyond 20 feet, the minimum width may be reduced to 10 feet.

**TABLE 806-4
MINIMUM DRIVEWAY DIMENSIONS**

Table 806-4: Minimum Driveway Dimensions		
Number of Parking Spaces Served	Width	Depth
1 space	10 ft.	20 ft.
2 spaces	16 ft.	20 ft.
3 or more spaces	22 ft.	20 ft.

(c) **Surfacing.**

(1) All driveways, except those serving developments on parcels within approved partitions located more than 300 feet from an available sewer, shall be paved with a hard surface material meeting the Public Works Design Standards. Driveways serving developments on parcels within approved partitions located more than 300 feet from an available sewer are not required to be paved.

(2) Access to vehicle storage areas shall be paved with a hard surface material meeting the Public Works Design Standards when such access is being utilized for parking. (Ord No. 31-13)

806.035. Off-Street Parking and Vehicle Use Area Development Standards for Uses or Activities Other than Single Family and Two Family.

Unless otherwise provided under the UDC, off-street parking and vehicle use areas, other than driveways and loading areas, for uses or activities other than Single Family and Two Family shall be developed and maintained as provided in this section.

(a) **General Applicability.** The off-street parking and vehicle use area development standards set forth in this section shall apply to:

- (1) The development of new off-street parking and vehicle use areas;
- (2) The expansion of existing off-street parking and vehicle use areas, where additional paved surface is added;
- (3) The alteration of existing off-street parking and vehicle use areas, where the existing paved surface is replaced with a new paved surface; and
- (4) The paving of an un-paved area.

(b) Location.

(1) Generally. Off-street parking and vehicle use areas shall not be located within required setbacks.

(2) Carpool and Vanpool Parking. Carpool and vanpool parking shall be located so it is the closest employee parking to the building entrance normally used by employees; provided, however, it shall not be located closer than any parking designated for disabled parking.

(3) Underground Parking. Off-street parking may be located underground in all zones, except the RA and RS zones. Such underground parking may be located beneath required setbacks; provided, however, no portion of the structure enclosing the underground parking shall project into the required setback, and all required setbacks located above the underground parking structure shall be landscaped as otherwise required under the UDC.

(c) Perimeter Setbacks and Landscaping.

(1) Perimeter Setbacks and Landscaping, Generally.

(A) Perimeter Setbacks. Perimeter setbacks, as set forth in this subsection, shall be required for off-street parking and vehicle use areas abutting streets, abutting interior front, side, and rear property lines, and adjacent to buildings and structures. Perimeter setbacks for parking garages are set forth under paragraph (5) of this subsection.

Perimeter setbacks are not required for:

(i) Off-street parking and vehicle use areas abutting an alley.

(ii) Vehicle storage areas within the IG zone.

(iii) Temporary and seasonal gravel off-street parking areas, approved pursuant to SRC Chapter 701, abutting non-residential zones, uses or activities other than Household Living, or local streets.

(iv) Gravel off-street parking areas, approved through a conditional use permit, abutting non-residential zones, uses or activities other than Household Living, or local streets.

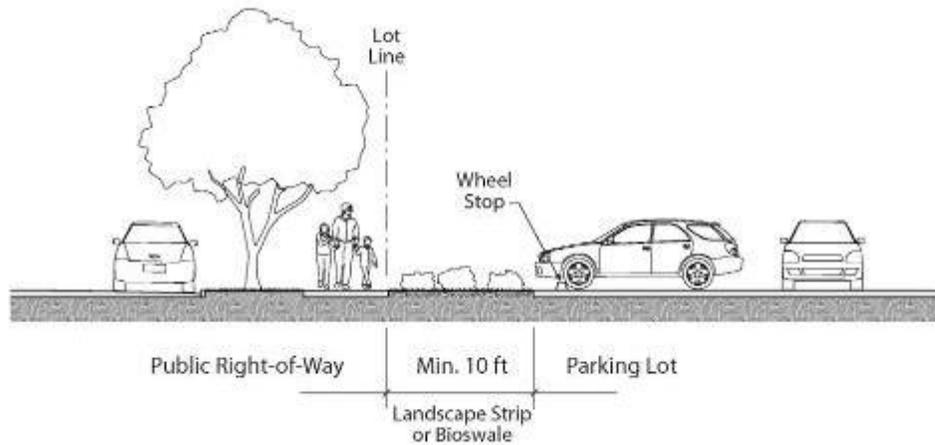
(v) Underground parking.

(B) Perimeter Landscaping. Required perimeter setbacks for off-street parking and vehicle use areas shall be landscaped as set forth in this subsection.

(2) Perimeter Setbacks and Landscaping Abutting Streets. Unless a greater setback is required elsewhere within the UDC, off-street parking and vehicle use areas abutting a street shall be setback and landscaped according to one the methods set forth in this paragraph. Street trees located along an arterial street may be counted towards meeting the minimum required number of plant units.

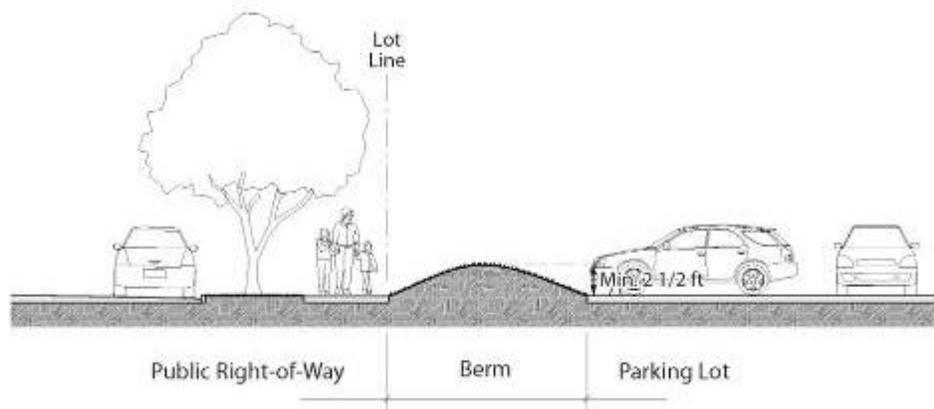
(A) Method A. The off-street parking and vehicle use area shall be setback a minimum of 10 feet (see Figure 806-1). The setback shall be landscaped according to the Type A standard set forth in SRC Chapter 807.

**FIGURE 806-1
PERIMETER SETBACKS AND LANDSCAPING ABUTTING STREETS – METHOD A**



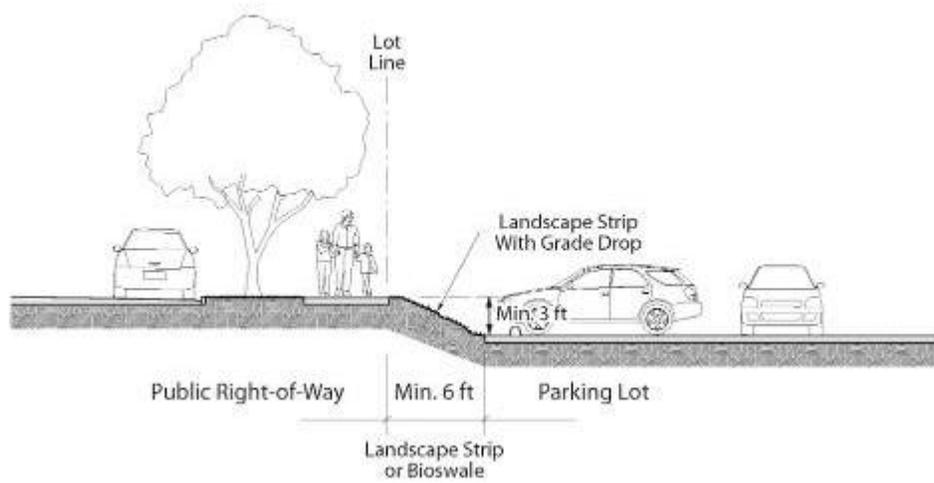
(B) Method B. The off-street parking and vehicle use area shall be setback to accommodate a berm, the top of which shall be a minimum of 2.5 feet higher than the elevation of the abutting off-street parking or vehicle use area (see Figure 806-2). The berm shall have a slope no steeper than a 3:1 on all sides, and shall be landscaped according to the Type A standard set forth in SRC Chapter 807 with plant materials to prevent erosion. The berm shall not alter natural drainage flows from abutting properties. Any portion of the berm that encroaches into a vision clearance area set forth in SRC Chapter 805 shall have a height no greater than the maximum allowed under SRC 805.010.

**FIGURE 806-2
PERIMETER SETBACKS AND LANDSCAPING ABUTTING STREETS – METHOD B**



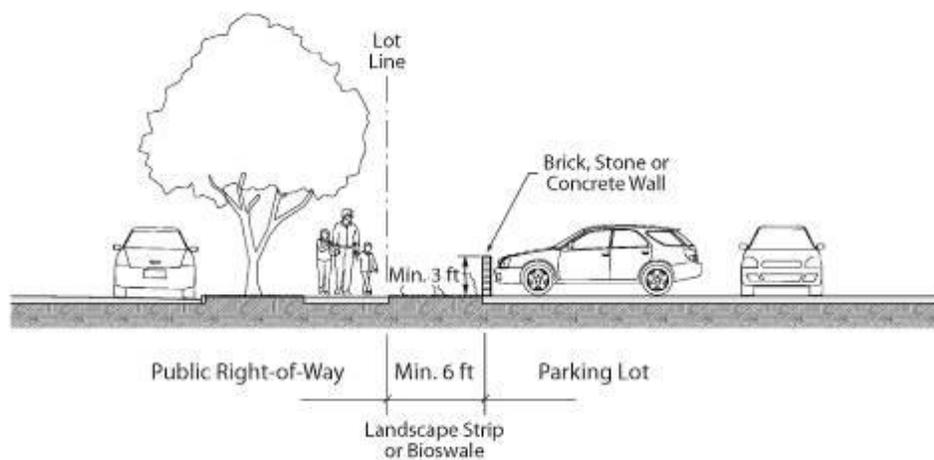
(C) Method C. The off-street parking and vehicle use area shall be setback a minimum 6 feet to accommodate a minimum 3-foot drop in grade from the elevation at the right-of-way line to the elevation of the abutting off-street parking or vehicular use area (see Figure 806-3). The setback shall be landscaped according to the Type A standard set forth in SRC Chapter 807.

**FIGURE 806-3
PERIMETER SETBACKS AND LANDSCAPING ABUTTING STREETS – METHOD C**



(D) Method D. The off-street parking and vehicle use area shall be setback a minimum 6 feet in conjunction with a minimum 3-foot-tall brick, stone, or finished concrete wall (see Figure 806-4). The wall shall be located adjacent to, but entirely outside, the required setback. The setback shall be landscaped according to the Type A standard set forth in SRC Chapter 807. Any portion of the wall that encroaches into a vision clearance area set forth in SRC Chapter 805 shall have a height no greater than the maximum allowed under SRC 805.010.

**FIGURE 806-4
PERIMETER SETBACKS AND LANDSCAPING ABUTTING STREETS – METHOD D**

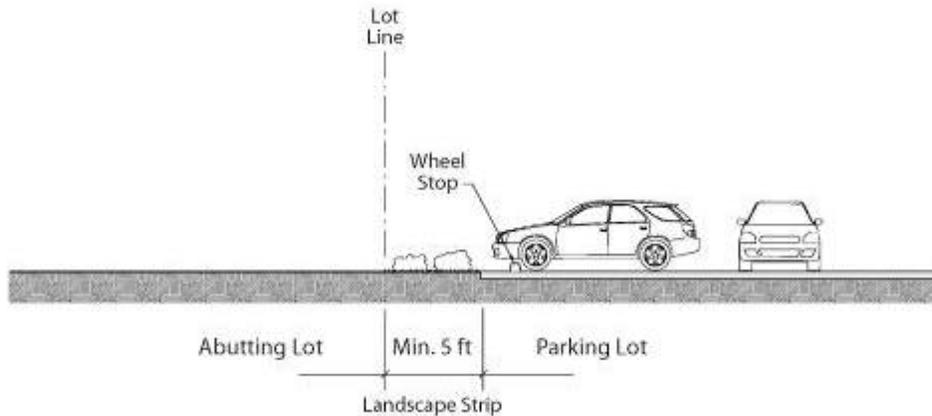


(E) Method E. The off-street parking and vehicle use area shall be setback a minimum of 6 feet to accommodate green stormwater infrastructure meeting the Public Works Design Standards.

(3) Perimeter Setbacks and Landscaping Abutting Interior Front, Side, and Rear Property Lines. Unless a greater setback is required elsewhere within the UDC, off-street

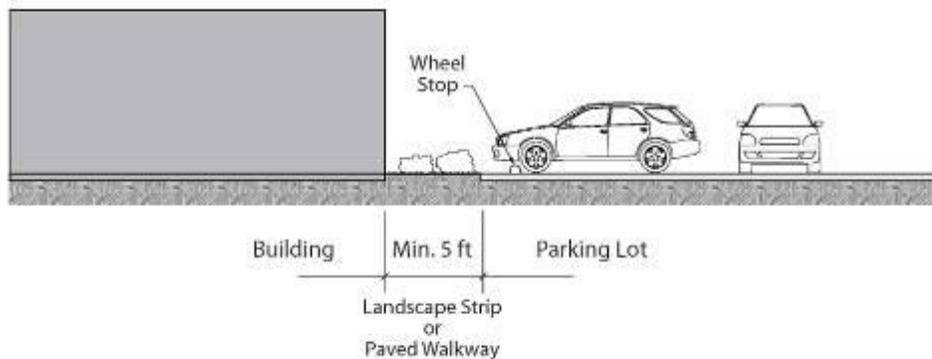
parking and vehicle use areas abutting an interior front, side, or rear property line shall be setback a minimum of 5 feet (see Figure 806-5). The setback shall be landscaped according to the Type A standard set forth in SRC Chapter 807.

**FIGURE 806-5
LANDSCAPING ADJACENT TO AN ADJACENT LOT**



(4) Setback Adjacent to Buildings and Structures. Except for drive-through lanes, where an off-street parking or vehicular use area is located adjacent to a building or structure, the off-street parking or vehicular use area shall be setback from the exterior wall of the building or structure by a minimum 5-foot-wide landscape strip, planted to the Type A standard set forth in SRC Chapter 807, or by a minimum 5-foot-wide paved pedestrian walkway (see Figure 806-6). A landscape strip or paved pedestrian walkway is not required for drive-through lanes located adjacent to a building or structure.

**FIGURE 806-6
LANDSCAPING ADJACENT TO A BUILDING**



(5) Perimeter Setbacks and Landscaping for Parking Garages. Perimeter setbacks and landscaping as set forth in subsection (c) of this section shall be required for parking garages; provided, however, perimeter setbacks and landscaping are not required for:

(A) Any portion of a parking garage with frontage on a street and containing ground floor uses or activities other than parking.

(B) Any parking garage within an industrial zone, public zone, or commercial zone, other than a CO zone, that abuts an interior front, side, or rear property line where there

is no required building setback.

(C) Any parking garage abutting an alley.

(d) Interior Landscaping.

(1) Interior Landscaping, Generally. Interior landscaping, as set forth in this subsection, shall be required for off-street parking areas 5,000 square feet or greater in size; provided, however, interior landscaping is not required for:

(A) Vehicle storage areas.

(B) Vehicle display areas.

(C) Temporary and seasonal gravel off-street parking areas, approved pursuant to SRC Chapter 701.

(D) Gravel off-street parking areas, approved through a conditional use permit.

(E) Underground parking.

(F) Parking garages.

(2) Minimum Percentage of Interior Landscaping Required. Interior landscaping shall be provided in amounts not less than those set forth in Table 806-5. For purposes of this paragraph, the total interior area of an off-street parking area is the sum of all areas within the perimeter of the off-street parking area, including parking spaces, aisles, planting islands, corner areas, and curbed areas, but not including interior driveways. Perimeter landscaped setbacks and required landscape strips separating off-street parking areas from buildings and structures shall not count towards satisfying minimum interior landscaping requirements.

TABLE 806-5

INTERIOR OFF-STREET PARKING AREA LANDSCAPING

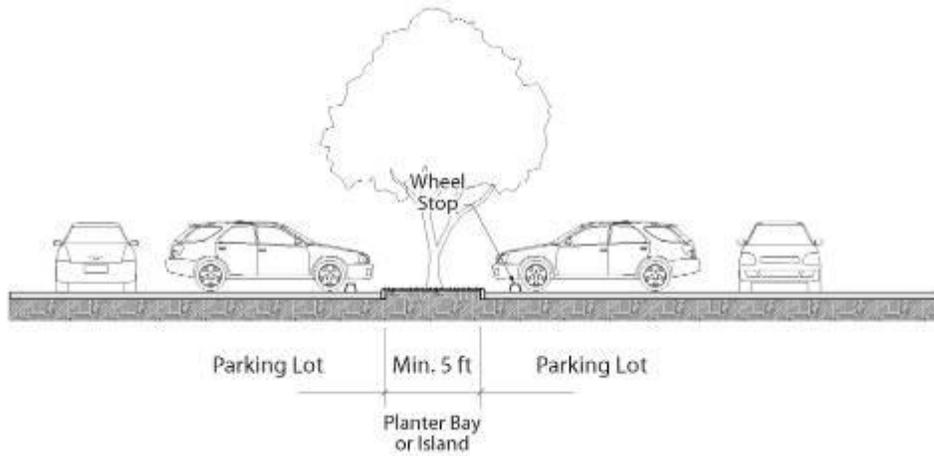
Table 806-5: Interior Off-Street Parking Area Landscaping

Total Interior Area of Off-Street Parking Area	Percentage Required to be Landscaped
Less than 50,000 sq. ft.	Min. 5%
50,000 sq. ft. and Greater	Min. 8%

(3) Trees. A minimum of one deciduous shade tree shall be planted for every 12 parking spaces within an off-street parking area. Trees may be clustered within landscape islands or planter bays, and shall be distributed throughout the off-street parking area to create a canopy effect and to break up expanses of paving and long rows of parking spaces.

(4) Landscape Islands and Planter Bays. Landscape islands and planter bays shall have a minimum planting area of 25 square feet, and shall have a minimum width of 5 feet (see Figure 806-7).

**FIGURE 806-7
INTERIOR LANDSCAPING**



(e) Off-Street Parking Area Dimensions. Off-street parking areas shall conform to the minimum dimensions set forth in Table 806-6; provided, however, minimum off-street parking area dimensions shall not apply to:

- (1) Vehicle storage areas.
- (2) Vehicle display areas.

**TABLE 806-6
MINIMUM OFF-STREET PARKING AREA DIMENSIONS**

Table 806-6: Minimum Off-Street Parking Area Dimensions							
Parking Angle A⁽³⁾	Type of Space	Stall Width B⁽³⁾	Stall to Curb C⁽³⁾	Aisle Width (1)(2) D⁽³⁾	Curb Length E⁽³⁾	Front of Stall to Front of Stall F1⁽³⁾	Overlap Front of Stall to Front of Stall F2⁽³⁾
0° (Parallel)	Compact	8'0"	8.0	12.0	22.0	28.0	-
	Standard	8'0"	8.0	12.0	22.0	28.0	-
20°	Compact	8'0"	12.6	11.0	23.4	36.2	28.7
	Standard	8'6" ⁽⁴⁾	14.5	11.0	24.9	40.0	32.0
		9'6"	15.5	11.0	27.8	42.0	33.1
30°	Standard	10'0"	15.9	11.0	19.2	42.8	33.4
		8'0"	14.4	11.0	16.0	39.8	32.9
		8'6" ⁽⁴⁾	16.9	11.0	17.0	44.8	37.4
		9'0"	17.3	11.0	18.0	45.6	37.8

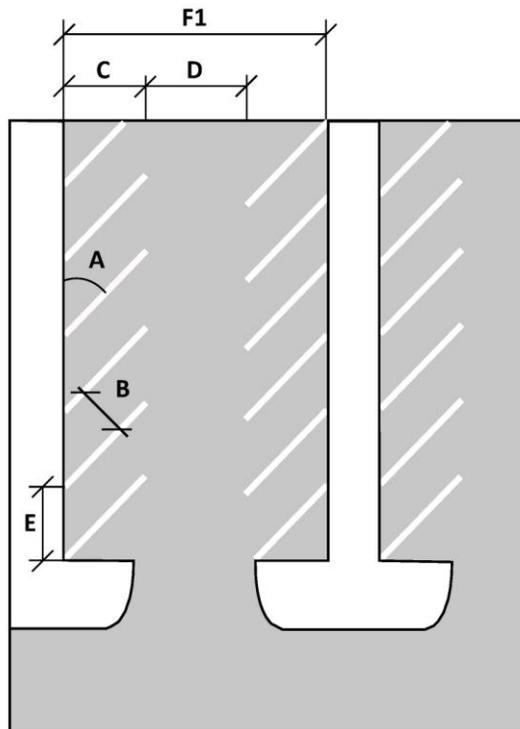
Table 806-6: Minimum Off-Street Parking Area Dimensions

Parking Angle A ⁽³⁾	Type of Space	Stall Width B ⁽³⁾	Stall to Curb C ⁽³⁾	Aisle Width (1)(2) D ⁽³⁾	Curb Length E ⁽³⁾	Front of Stall to Front of Stall F1 ⁽³⁾	Overlap Front of Stall to Front of Stall F2 ⁽³⁾
		9'6"	17.8	11.0	19.0	46.6	38.4
		10'0"	18.2	11.0	20.0	47.4	38.7
40°	Compact	8'0"	15.8	12.0	12.4	43.6	37.5
	Standard	8'6" ⁽⁴⁾	18.7	12.0	13.2	49.4	42.9
		9'0"	19.1	12.0	14.0	50.2	43.3
		9'6"	19.5	12.0	14.8	51.0	43.7
		10'0"	19.9	12.0	15.6	51.8	44.1
45°	Compact	8'0"	16.3	13.5	11.3	46.1	40.5
	Standard	8'6" ⁽⁴⁾	19.4	13.5	12.0	52.3	46.3
		9'0"	19.8	13.0	12.7	52.6	46.2
		9'6"	20.1	13.0	13.4	53.2	46.5
		10'0"	20.5	13.0	14.1	54.0	46.9
50°	Compact	8'0"	16.6	15.5	10.4	48.7	43.6
	Standard	8'6" ⁽⁴⁾	20.0	15.5	11.1	55.5	50.0
		9'0"	20.4	15.0	11.7	55.8	50.0
		9'6"	20.7	15.0	12.4	56.4	50.3
		10'0"	21.0	15.0	13.1	57.0	50.6
60°	Compact	8'0"	17.0	18.5	9.2	52.5	48.5
	Standard	8'6" ⁽⁴⁾	20.7	18.5	9.8	59.9	55.6
		9'0"	21.0	18.0	10.4	60.0	55.7
		9'6"	21.2	18.0	11.0	60.4	55.6
		10'0"	21.5	18.0	11.5	61.0	56.0
70°	Compact	8'0"	16.8	19.5	8.5	53.1	50.4
	Standard	8'6" ⁽⁴⁾	20.8	19.5	9.0	61.1	58.2
		9'0"	21.0	19.0	9.6	61.0	57.9
		9'6"	21.2	18.5	10.1	60.9	57.7
		10'0"	21.2	18.0	10.6	60.4	57.0
80°	Compact	8'0"	16.2	22.0	8.1	56.4	55.0
	Standard	9'0"	20.3	24.0	9.1	64.3	62.7
		9'6"	20.4	24.0	9.6	64.4	62.7
		10'0"	20.5	24.0	10.2	65.0	63.3
90°	Compact	8'0"	15.0	22.0	8.0	54.0	-
		8'6" ⁽⁵⁾	15.0	22.0	8.0	54.0	-
	Standard	9'0"	19.0	24.0	9.0	62.0	-
		9'6"	19.0	24.0	9.5	62.0	-
		10'0"	19.0	24.0	10.0	62.0	-

Table 806-6: Minimum Off-Street Parking Area Dimensions

Parking Angle A ⁽³⁾	Type of Space	Stall Width B ⁽³⁾	Stall to Curb C ⁽³⁾	Aisle Width (1)(2) D ⁽³⁾	Curb Length E ⁽³⁾	Front of Stall to Front of Stall F1 ⁽³⁾	Overlap Front of Stall to Front of Stall F2 ⁽³⁾
Limitations and Qualifications							
(1) For two-way circulation the width of an aisle shall be a minimum of 22 feet. (2) The width of an aisle serving both standard and compact parking spaces 80 degrees or more shall be a minimum of 24 feet. (3) See Figure 806-8 for corresponding off-street parking area layout requirements. (4) Minimum 8'6" standard stall width applies within parking structures of two or more stories. (5) Minimum 8'6" compact stall width applies when the side of the parking space abuts a wall or post.							

FIGURE 806-8



OFF-STREET PARKING AREA LAYOUT REQUIREMENTS

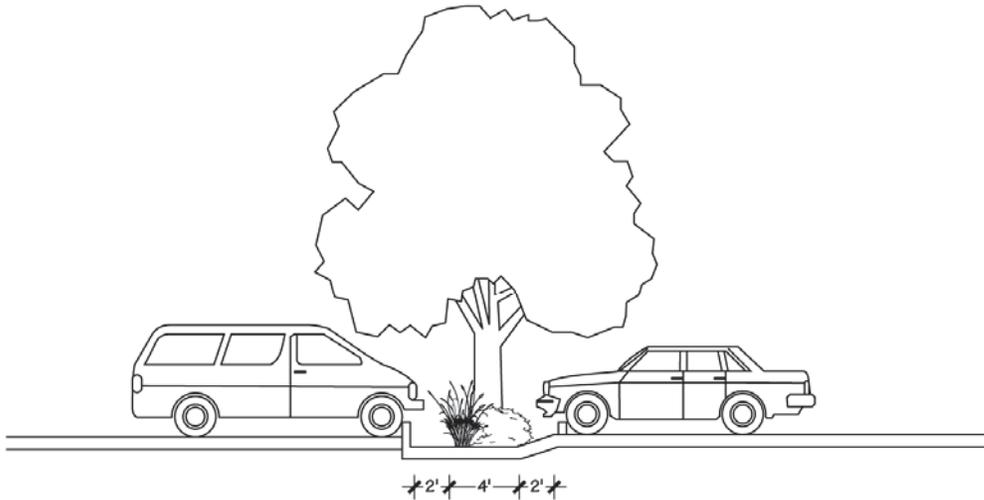
(f) Grade. Off-street parking and vehicle use areas shall not exceed a maximum grade of 10 percent. Ramps shall not exceed a maximum grade of 15 percent.

(g) Surfacing. Off-street parking and vehicle use areas shall be paved with a hard surface material meeting the Public Works Design Standards; provided, however, up to 2 feet of the front of a parking space may be landscaped with ground cover plants (see Figure 806-9). Such 2-foot landscaped area counts towards meeting interior off-street parking area landscaping requirements, but shall not count towards meeting perimeter setbacks and landscaping requirements. Paving is not required for:

- (1) Vehicle storage areas within the IG zone.

- (2) Temporary and seasonal gravel off-street parking areas, approved pursuant to SRC Chapter 701.
- (3) Gravel off-street parking areas, approved through a conditional use permit.

**FIGURE 806-9
LANDSCAPED FRONT PORTION OF PARKING STALL**



- (h) **Drainage.** Off-street parking and vehicle use areas shall be adequately designed, graded, and drained according to the Public Works Design Standards, or to the approval of the Public Works Director.
- (i) **Bumper Guards or Wheel Barriers.** Off-street parking and vehicle use areas shall include bumper guards or wheel barriers so that no portion of a vehicle will overhang or project into required setbacks and landscaped areas, pedestrian access ways, streets or alleys, or abutting property; provided, however, bumper guards or wheel barriers are not required for:
 - (1) Vehicle storage areas.
 - (2) Vehicle sales display areas.
- (j) **Off-Street Parking Area Striping.** Off-street parking areas shall be striped in conformance with the off-street parking area dimension standards set forth in Table 806-6; provided, however, off-street parking area striping shall not be required for:
 - (1) Vehicle storage areas.
 - (2) Vehicle sales display areas.
 - (3) Temporary and seasonal gravel off-street parking areas, approved pursuant to SRC Chapter 701.
 - (4) Gravel off-street parking areas, approved through a conditional use permit.
- (k) **Marking and Signage.**
 - (1) **Off-Street Parking and Vehicle Use Area Circulation.** Where directional signs and pavement markings are included within an off-street parking or vehicle use area to control vehicle movement, such signs and marking shall conform to the Manual of Uniform Traffic Control Devices.
 - (2) **Compact Parking.** Compact parking spaces shall be clearly marked indicating the spaces are reserved for compact parking only.
 - (3) **Carpool and Vanpool Parking.** Carpool and vanpool parking spaces shall be posted with signs indicating the spaces are reserved for carpool or vanpool use only before 9:00 A.M. on weekdays.
- (l) **Lighting.** Lighting for off-street parking and vehicle use areas shall not shine or reflect onto adjacent residentially zoned property, or property used for uses or activities falling under

Household Living, or cast glare onto the street.

(m) Off-Street Parking Area Screening. Off-street parking areas with more than 6 spaces shall be screened from abutting residentially zoned property, or property used for uses or activities falling under Household Living, by a minimum 6-foot-tall sight-obscuring fence, wall, or hedge; provided however, screening is not required for vehicle storage areas within the IG zone. (Ord No. 31-13)

806.040. Driveway Development Standards for Uses or Activities other than Single Family or Two Family. Unless otherwise provided under the UDC, driveways for uses or activities other than Single Family or Two Family shall be developed and maintained as provided in this section.

(a) Access. Off-street parking and vehicle use areas shall have either separate driveways for ingress and egress, a single driveway for ingress and egress with an adequate turnaround that is always available, or a loop to the single point of access. The driveway approaches to the driveways shall conform to SRC Chapter 804.

(b) Location. Driveways shall not be located within required setbacks except where:

- (1) The driveway provides direct access to the street, alley, or abutting property.
- (2) The driveway is a shared driveway located over the common lot line and providing access to two or more uses.

(c) Setbacks and Landscaping.

(1) Perimeter Setbacks and Landscaping, Generally. Perimeter setbacks and landscaping as set forth in this subsection shall be required for driveways abutting streets and abutting interior front, side, and rear property lines; provided, however, perimeter setbacks and landscaping are not required where:

- (A) The driveway provides direct access to the street, alley, or abutting property.
- (B) The driveway is a shared driveway located over the common lot line and providing access to two or more uses.

(2) Perimeter Setbacks and Landscaping Abutting Streets. Unless a greater setback is required elsewhere within the UDC, driveways abutting a street shall be setback and landscaped according to the off-street parking and vehicle use area perimeter setbacks and landscaping standards set forth under SRC 806.035(c)(2).

(3) Perimeter Setbacks and Landscaping Abutting Interior Front, Side, and Rear Property Lines. Unless a greater setback is required elsewhere within the UDC, driveways abutting an interior front, side, or rear property line shall be setback a minimum of 5 feet. The setback shall be landscaped according to the Type A standard set forth in SRC Chapter 807.

(d) Dimensions. Driveways shall conform to the minimum width set forth in Table 806-7.

**TABLE 806-7
MINIMUM DRIVEWAY WIDTH**

Table 806-7: Minimum Driveway Width		
Type of Driveway	Width	Inside Radius of Curves & Corners
One-Way Driveway	12 ft.	25 ft., measured at curb or pavement edge.
Two-Way Driveway	22 ft.	25 ft., measured at curb or pavement edge

(e) Surfacing. All driveways shall be paved with a hard surface material meeting the Public Works Design Standards.

(f) Drainage. Driveways shall be adequately designed, graded, and drained according to the Public Works Design Standards, or to the approval of the Public Works Director.

(g) **“No Parking” Signs.** Driveways shall be posted with one “no parking” sign for every 60 feet of driveway length, but in no event shall less than 2 signs be posted. (Ord No. 31-13)

806.045. Bicycle Parking; When Required.

(a) **General Applicability.** Bicycle parking shall be provided as required under this Chapter for:

- (1) Each proposed new use or activity.
- (2) Any change of use or activity, when such change of use or activity results in a bicycle parking ratio requiring a greater number of spaces than the previous use or activity.
- (3) Any intensification, expansion, or enlargement of a use or activity.

(b) **Applicability to Nonconforming Bicycle Parking Area.** When bicycle parking is required to be added to an existing bicycle parking area that has a nonconforming number of spaces, the number of spaces required under this Chapter for any new use or activity, any change of use or activity, or any intensification, expansion, or enlargement of a use or activity shall be provided, in addition to the number of spaces required to remedy the existing deficiency. (Ord No. 31-13)

806.050. Proximity of Bicycle Parking to Use or Activity Served. Bicycle parking shall be located on the same development site as the use or activity it serves. (Ord No. 31-13)

806.055. Amount of Bicycle Parking. Unless otherwise provided under the UDC, bicycle parking shall be provided in amounts not less than those set forth in Table 806-8. (Ord No. 31-13)

**TABLE 806-8
MINIMUM BICYCLE PARKING**

Table 806-8: Minimum Bicycle Parking		
Use	Minimum Number of Spaces Required ⁽¹⁾	Limitations & Qualifications
Household Living		
Single Family	None	
Two Family		
Multiple Family	The greater of 4 spaces or 0.1 spaces per dwelling unit.	
Group Living		
Room and Board Facilities	The greater of 4 spaces or 1 space per 50 rooms.	
Residential Care	The greater of the following: 4 spaces; or 1 per 3,500 sq. ft. for first 50,000 sq. ft.; plus 1 per 7,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 14,000 sq. ft. for remaining square footage over 100,000 sq. ft.	
Nursing Care	1 per 30 beds	
Lodging		
Short-Term Commercial Lodging	The greater of 4 spaces or 1 space per 50 rooms.	

Table 806-8: Minimum Bicycle Parking

Use	Minimum Number of Spaces Required ⁽¹⁾	Limitations & Qualifications
Long-Term Commercial Lodging		
Non-Profit Shelters	The greater of the following: 4 spaces; or 1 per 3,500 sq. ft. for first 50,000 sq. ft.; plus 1 per 7,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 14,000 sq. ft. for remaining square footage over 100,000 sq. ft.	
Retail Sales and Service		
Eating and Drinking Establishments	The greater of 4 spaces or 1 space per 1,000 sq. ft.	
Retail Sales	The greater of the following: 4 spaces; or 1 per 10,000 sq. ft. for first 50,000 sq. ft.; plus 1 per 20,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 30,000 sq. ft. for remaining square footage over 100,000 sq. ft.	
Personal Services	1 per 10,000 sq. ft.	Applicable to laundry, dry cleaning, and garment services.
	The greater of 4 spaces or 1 space per 3,500 sq. ft.	Applicable to all other Personal Services.
Postal Services and Retail Financial Services	The greater of 4 spaces or 1 space per 3,000 sq. ft.	
Shopping Center	The greater of the following: 4 spaces; or 1 per 10,000 sq. ft. for first 50,000 sq. ft.; plus 1 per 20,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 30,000 sq. ft. for remaining square footage over 100,000 sq. ft.	
Business and Professional Services		
Office	The greater of the following:	

Table 806-8: Minimum Bicycle Parking

Use	Minimum Number of Spaces Required ⁽¹⁾	Limitations & Qualifications
Laboratory Research and Testing; Office Complex	4 spaces; or 1 per 3,500 sq. ft. for first 50,000 sq. ft.; plus 1 per 7,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 14,000 sq. ft. for remaining square footage over 100,000 sq. ft.	
Audio/Visual Media Production	The greater of the following: 4 spaces; or 1 per 10,000 sq. ft. for first 50,000 sq. ft.; plus 1 per 20,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 30,000 sq. ft. for remaining square footage over 100,000 sq. ft.	Applicable to broadcasting studios.
	The greater of 4 spaces or 1 per 3,500 sq. ft.	Applicable to all other Audio/Visual Media Production.
Motor Vehicle, Trailer, and Manufactured Dwelling Sales and Service		
Motor Vehicle and Manufactured Dwelling and Trailer Sales	1 per 9,000 sq. ft.	
Motor Vehicle Services		
Taxicabs and Car Services		
Heavy Vehicle and Trailer Sales		
Heavy Vehicle and Trailer Service and Storage		
Commercial Parking; Park-and-Ride Facilities	1 per 30 vehicle parking spaces	
Recreation, Entertainment, and Cultural Services and Facilities		
Commercial Entertainment Indoor	The greater of 4 spaces or 1 space per 50 seats or 100 feet of bench length	Applicable to theaters.
	The greater of 4 spaces or 1 space per court.	Applicable to tennis, racquetball, and handball courts.

Table 806-8: Minimum Bicycle Parking

Use	Minimum Number of Spaces Required ⁽¹⁾	Limitations & Qualifications
	The greater of 4 spaces or 1 space per 500 sq. ft.	Applicable to all other Commercial Entertainment – Indoor.
Commercial Entertainment Outdoor	The greater of 4 spaces or 1 space per court	Applicable to tennis, racquetball, and handball courts.
	4	Applicable to golf courses.
	None	Applicable to drive-in movie theaters.
	The greater of 4 spaces or 1 space per 30 vehicle parking spaces	Applicable to all other Commercial Entertainment – Outdoor.
Major Event Entertainment	The greater of 4 spaces or 1 space per 50 seats or 100 ft. of bench length	
Recreational and Cultural Community Services	4	Applicable to golf courses.
	The greater of the following: 4 spaces; or 1 per 3,500 sq. ft. for first 50,000 sq. ft.; plus 1 per 7,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 14,000 sq. ft. for remaining square footage over 100,000 sq. ft.	Applicable to all other indoor Recreational and Cultural Community Services.
	The greater of 4 spaces or 1 space per 30 vehicle parking spaces.	Applicable to all other outdoor Recreational and Cultural Community Services.
Parks and Open Space	The greater of 4 spaces or 1 space per 30 vehicle parking spaces.	
Non-Profit Membership Assembly	1 per 30 vehicle parking spaces.	
Religious Assembly		
Health Services		
Medical Centers/Hospitals	The greater of 4 spaces or 1 per 30 beds	
Outpatient Medical Services and Laboratories	The greater of 4 spaces or 1 per 3,500 sq. ft.	
Education Services		
Day Care	4	
Basic Education	2 per classroom	Applicable to Elementary Schools
	4 per classroom	Applicable to all other Basic Education.

Table 806-8: Minimum Bicycle Parking

Use	Minimum Number of Spaces Required ⁽¹⁾	Limitations & Qualifications
Post-Secondary and Adult Education	The greater of the following: 4 spaces; or 1 per 3,500 sq. ft. for first 50,000 sq. ft.; plus 1 per 7,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 14,000 sq. ft. for remaining square footage over 100,000 sq. ft.	Applicable to vocational and trade schools.
	The greater of 4 spaces or 1 per 10,000 sq. ft.	Applicable to all other Post-Secondary and Adult Education.
Civic Services		
Governmental Services	1 per 5,000 sq. ft.	
Social Services	The greater of the following: 4 spaces; or 1 per 3,500 sq. ft. for first 50,000 sq. ft.; plus 1 per 7,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 14,000 sq. ft. for remaining square footage over 100,000 sq. ft.	
Governmental Maintenance Services and Construction	4	
Public Safety		
Emergency Services	None	Applicable to ambulance stations.
	1 per 5,000 sq. ft.	Applicable to all other Emergency Services.
Detention Facilities	1 per 50 beds.	
Military Installations	1 per 5,000 sq. ft.	
Funeral and Related Services		
Cemeteries	The greater of the following: 4 spaces; or 1 per 3,500 sq. ft. for first 50,000 sq. ft.; plus 1 per 7,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 14,000 sq. ft. for remaining square footage over 100,000 sq. ft.	
Funeral and Cremation Services	1 per 50 seats or 100 feet of bench length in the chapel.	
Construction Contracting, Repair, Maintenance, and Industrial Services		
Building and Grounds Services and Construction Contracting;	4	

Table 806-8: Minimum Bicycle Parking

Use	Minimum Number of Spaces Required ⁽¹⁾	Limitations & Qualifications
General Repair Services	The greater of the following: 4 spaces; or 1 per 3,500 sq. ft. for first 50,000 sq. ft.; plus 1 per 7,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 14,000 sq. ft. for remaining square footage over 100,000 sq. ft.	
Cleaning Plants	1 per 10,000 sq. ft.	
Industrial Services	The greater of the following: 4 spaces; or 1 per 10,000 sq. ft. for first 50,000 sq. ft.; plus 1 per 20,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 30,000 sq. ft. for remaining square footage over 100,000 sq. ft.	
Wholesale Sales, Storage, and Distribution		
General Wholesaling; Heavy Wholesaling	1 per 15,000 sq. ft.	
Warehousing and Distribution	The greater of the following: 4 spaces; or: 1 per 10,000 sq. ft. for first 50,000 sq. ft.; plus 1 per 20,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 30,000 sq. ft. for remaining square footage over 100,000 sq. ft.	
Self Service Storage	None	
Manufacturing		
General Manufacturing	The greater of the following: 4 spaces; or: 1 per 10,000 sq. ft. for first 50,000 sq. ft.; plus 1 per 20,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 30,000 sq. ft. for remaining square footage over 100,000 sq. ft.	
Heavy Manufacturing		
Printing		

Table 806-8: Minimum Bicycle Parking

Use	Minimum Number of Spaces Required ⁽¹⁾	Limitations & Qualifications
Transportation Facilities		
Aviation Facilities	The greater of the following: 4 spaces; or: 1 per 10,000 sq. ft. for first 50,000 sq. ft.; plus 1 per 20,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 30,000 sq. ft. for remaining square footage over 100,000 sq. ft.	
Passenger Ground Transportation Facilities		
Marine Facilities	2	Applicable to marinas.
	The greater of the following: 4 spaces; or: 1 per 10,000 sq. ft. for first 50,000 sq. ft.; plus 1 per 20,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 30,000 sq. ft. for remaining square footage over 100,000 sq. ft.	Applicable to all other Marine Facilities.
Utilities		
Basic Utilities	The greater of the following: 4 spaces; or: 1 per 10,000 sq. ft. for first 50,000 sq. ft.; plus 1 per 20,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 30,000 sq. ft. for remaining square footage over 100,000 sq. ft.	
Drinking Water Treatment Facilities		
Power Generation Facilities		
Data Center Facilities		
Waste Related Facilities		
Fuel Dealers		
Wireless Communication Facilities	None	
Mining and Natural Resource Extraction		
Petroleum and Natural Gas Production;	4	
Surface Mining		

Table 806-8: Minimum Bicycle Parking		
Use	Minimum Number of Spaces Required ⁽¹⁾	Limitations & Qualifications
Farming, Forestry, and Animal Services		
Agriculture	2	Applicable when retail sales are involved.
Forestry		
Agriculture and Forestry Services	The greater of the following: 4 spaces; or: 1 per 10,000 sq. ft. for first 50,000 sq. ft.; plus 1 per 20,000 sq. ft. for 50,000 to 100,000 sq. ft.; plus 1 per 30,000 sq. ft. for remaining square footage over 100,000 sq. ft.	
Keeping of Livestock and Other Animals	2	Applicable when retail sales are involved.
Animal Services		
Other Uses		
Temporary Uses	None	
Home Occupations	None	
(1) Unless otherwise provided, when required bicycle parking is expressed in terms of a number of spaces per a square footage, the square footage shall equal the gross floor area.		

806.060. Bicycle Parking Development Standards. Unless otherwise provided under the UDC, bicycle parking areas shall be developed and maintained as set forth in this section.

- (a) **Location.** Bicycle parking areas shall be located within a convenient distance of, and shall be clearly visible from, the primary building entrance. In no event shall bicycle parking areas be located more than 50 feet from the primary building entrance.
- (b) **Access.** Bicycle parking areas shall have direct and accessible access to the public right-of-way and the primary building entrance.
- (c) **Dimensions.** Bicycle parking spaces shall be a minimum of 6 feet by 2 feet, and shall be served by a minimum 4-foot-wide access aisle.
- (d) **Bicycle Racks.** Where bicycle parking is provided in racks, the racks may be floor, wall, or ceiling racks. Bicycle racks shall accommodate the bicyclist's own locking device. (Ord No. 31-13)

806.065. Off-Street Loading Areas; When Required.

- (a) **General Applicability.** Off-street loading shall be provided and maintained as required under this Chapter for:
 - (1) Each proposed new use or activity.
 - (2) Any change of use or activity, when such change of use or activity results in a greater number of required off-street loading spaces than the previous use or activity.
 - (3) Any intensification, expansion, or enlargement of a use or activity.
- (b) **Applicability to Nonconforming Off-Street Loading Area.** When off-street loading is required to be added to an existing off-street loading area that has a nonconforming number of spaces, the number of spaces required under this Chapter for any new use or activity, any change of use or activity, or any intensification, expansion, or enlargement of a use or activity shall be

provided, in addition to the number of spaces required to remedy the existing deficiency. (Ord No, 31-13)

806.070. Proximity of Off-Street Loading Areas to Use or Activity Served. Off-street loading shall be located on the same development site as the use or activity it serves. (Ord No. 31-13)

806.075. Amount of Off-Street Loading. Unless otherwise provided under the UDC, off-street loading shall be provided in amounts not less than those set forth in Table 806-9.

**TABLE 806-9
MINIMUM OFF-STREET LOADING; DIMENSIONS**

Table 806-9: Minimum Off-Street Loading; Dimensions						
Use Category/Use	Minimum Number of Spaces Required ⁽¹⁾		Dimensions			Limitations & Qualifications
			Width	Length	Height	
<u>Use:</u> <ul style="list-style-type: none"> ▪ Single Family ▪ Two Family ▪ Commercial Parking ▪ Park-and-Ride Facility ▪ Parks and Open Space ▪ Cemeteries ▪ Basic Utilities ▪ Wireless Communication Facilities ▪ Agriculture ▪ Forestry ▪ Temporary Uses ▪ Home Occupations 	None		N/A	N/A	N/A	
<u>Use:</u> <ul style="list-style-type: none"> ▪ Multiple Family 	None	0 to 49 dwelling units	N/A	N/A	N/A	If a recreational or service building is provided, at least one of the required loading spaces shall be located in conjunction with the recreational or service building.
	1	50 to 99 dwelling units	12 ft.	19 ft.	12 ft.	
	2	100 to 199 dwelling units	12 ft.	19 ft.	12 ft.	
	3	200 or more dwelling units	12 ft.	19 ft.	12 ft.	
<u>Use Category:</u> <ul style="list-style-type: none"> ▪ Business and Professional Services <u>Use:</u> <ul style="list-style-type: none"> ▪ Outpatient Medical Services and Laboratories ▪ Governmental 	None	Less than 5,000 sq. ft.	N/A	N/A	N/A	
	1	5,000 to 60,000 sq. ft.	12 ft.	19 ft.	12 ft.	
	2	60,001 to 250,000 sq. ft.	12 ft.	19 ft.	12 ft.	

Table 806-9: Minimum Off-Street Loading; Dimensions

Use Category/Use	Minimum Number of Spaces Required ⁽¹⁾		Dimensions			Limitations & Qualifications
			Width	Length	Height	
Services <ul style="list-style-type: none"> ▪ Social Services ▪ Keeping of Livestock and Other Animals ▪ Animal Services 	Additional Spaces Required	Greater than 250,000 sq. ft.	12 ft.	19 ft.	12 ft.	For each additional 100,000 square feet, or any portion thereof, of building area over 250,000 sq. ft., one additional loading space is required.
Use Category: <ul style="list-style-type: none"> ▪ Group Living ▪ Lodging ▪ Retail Sales and Service ▪ Education Services 	None	Less than 5,000 sq. ft.	N/A	N/A	N/A	
	1	5,000 to 60,000 sq. ft.	12 ft.	30 ft.	14 ft.	
	2	60,001 to 250,000 sq. ft.	12 ft.	30 ft.	14 ft.	
Use: <ul style="list-style-type: none"> ▪ Commercial Entertainment – Indoor ▪ Commercial Entertainment – Outdoor ▪ Major Event Entertainment ▪ Recreation and Cultural Community Services ▪ Non-Profit Membership Assembly ▪ Religious Assembly ▪ Medical Centers/Hospitals ▪ Emergency Services ▪ Funeral and Cremation Services ▪ General Repair Services ▪ Agriculture and Forestry Services 	Additional Spaces Required	Greater than 250,000 sq. ft.	12 ft.	30 ft.	14 ft.	For each additional 100,000 square feet, or any portion thereof, of building area over 250,000 sq. ft., one additional loading space is required.
	None	Less than 5,000 sq. ft.	N/A	N/A	N/A	
Use Category: <ul style="list-style-type: none"> ▪ Wholesale Sales, Storage, and Distribution ▪ Manufacturing ▪ Transportation Facilities ▪ Mining and Natural Resource Extraction 	1	5,000 to 100,000 sq. ft.	12 ft.	40 ft.	14 ft.	
	3	100,001 to 240,000 sq. ft.	12 ft.	40 ft.	14 ft.	
	5	240,001 to 320,000 sq. ft.	12 ft.	40 ft.	14 ft.	
Use: <ul style="list-style-type: none"> ▪ Motor Vehicle and 						

Table 806-9: Minimum Off-Street Loading; Dimensions

Use Category/Use	Minimum Number of Spaces Required ⁽¹⁾		Dimensions			Limitations & Qualifications
			Width	Length	Height	
Manufactured Dwelling and Trailer Sales;	6	320,001 to 400,000 sq. ft.	12 ft.	40 ft.	14 ft.	
▪ Motor Vehicle Services;						
▪ Taxicabs and Car Services;						
▪ Heavy Vehicle and Trailer Sales;						
▪ Heavy Vehicle and Trailer Service and Storage						
▪ Governmental Maintenance Services and Construction	7	400,000 to 490,000 sq. ft.	12 ft.	40 ft.	14 ft.	
▪ Detention Facilities	8	490,001 to 580,000 sq. ft.	12 ft.	40 ft.	14 ft.	
▪ Military Installations	9	580,001 to 670,000 sq. ft.	12 ft.	40 ft.	14 ft.	
▪ Building and Grounds Services and Construction Contracting	Additional Spaces Required	Buildings greater than 760,000 sq. ft.	12 ft.	40 ft.	14 ft.	For each additional 100,000 square feet, or any portion thereof, of building area over 760,000 sq. ft., one additional loading space is required.
▪ Cleaning Plants						
▪ Industrial Services						
▪ Drinking Water Treatment						
▪ Power Generation Facilities						
▪ Data Center Facilities						
▪ Fuel Dealers						
▪ Waste-Related Facilities						

(1) Unless otherwise provided, when required loading is expressed in terms of a number of spaces per a square footage, the square footage shall equal the gross floor area.

(a) Off-Street Parking Used for Loading. An off-street parking area meeting the requirements of this Chapter may be used in place of a required off-street loading space when the use or activity does not require a delivery vehicle which exceeds a maximum combined vehicle and load rating of 8,000 pounds and the off-street parking area is located within 25 feet of the building or the use or activity that it serves. (Ord No. 31-13)

806.080. Off-Street Loading Development Standards. Unless otherwise provided under the UDC, off-street loading shall be developed and maintained as set forth in this section.

(a) Location. Off-street loading areas shall not be located within required setbacks.

(b) Perimeter Setbacks and Landscaping.

(1) Perimeter Setbacks and Landscaping Abutting Streets. Unless a greater setback is required elsewhere within the UDC, off-street loading areas abutting a street shall be setback and landscaped according to the off-street parking and vehicle use area perimeter setback and landscaping standards set forth under SRC 806.035(c)(2).

(2) Perimeter Setbacks and Landscaping Abutting Interior Front, Side, and Rear Property Lines. Unless a greater setback is required elsewhere within the UDC, off-street loading areas abutting an interior front, side, or rear property line shall be setback a minimum of 5 feet. The setback shall be landscaped according to the Type A landscaping standard of SRC Chapter 807.

(c) Dimensions. Loading areas shall conform to the minimum dimensions set forth in Table 806-9.

(d) Maneuvering. Off-street loading areas shall be of sufficient size, and all curves and corners of sufficient radius, to accommodate the safe operation of a delivery vehicle.

(e) Surfacing. All loading areas shall be paved with a hard surface material meeting the Public Works Design Standards; provided, however, paving is not required for:

(1) Temporary and seasonal gravel loading areas, approved pursuant to SRC Chapter 701.

(2) Gravel loading areas, approved through a conditional use permit.

(f) Drainage. Loading areas shall be adequately designed, graded, and drained according to the Public Works Design Standards, or to the approval of the Public Works Director.

(g) Lighting. Lighting for off-street loading areas shall not shine or reflect onto adjacent residentially zoned property, or property used for uses or activities falling under Household Living, or cast glare onto the street. (Ord No. 31-13)