

CHAPTER 531
SWMU – SOUTH WATERFRONT MIXED-USE

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531.001. Purpose. The purpose of the South Waterfront Mixed-Use (SWMU) zone is to implement the River-Oriented Mixed-Use designation of the Salem Area Comprehensive Plan through the identification of allowed uses and the establishment of development standards to further economic development and support the creation of a vibrant downtown. The SWMU provides for a mixture of uses developed in a manner that promotes an active and inviting pedestrian environment, and that takes advantage of close proximity to Pringle Creek, Riverfront Park, the Willamette River, and the downtown. (Ord No. 31-13)

531.005. Definitions. Unless the context otherwise specifically requires, as used in this Chapter, the following mean:

- (a) Development site: A single building, all or a portion of a single lot, or all or a portion of multiple lots within a single ownership or control (i.e., lands included within the land use application), as determined by the applicant.
- (b) Ground floor: The first full building floor which is not more than two feet above grade. For buildings facing Pringle Creek, ground floor means the floor most closely aligned with street level.
- (c) Ground floor area: The floor area of a building or structure devoted to a particular use, measured within the exterior walls that are at the grade plane of the building or structure.
- (d) Total floor area: The floor area of a building or structure devoted to a particular use, measured within the exterior walls of all stories of a building or structure. (Ord No. 31-13)

531.010. Uses.

(a) The permitted (P), special (S), conditional (C), and prohibited (N) uses in the SWMU zone are set forth in Table 531-1.

TABLE 531-1
USES

Table 531-1: Uses		
Use	Status	Limitations & Qualifications
Household Living		
Single Family	P	The following Single Family activities: <ul style="list-style-type: none"> ▪ Townhouse. ▪ Residential Home, as defined under ORS 197.660.
	N	All other Single Family.
Two Family	P	Duplex.
	N	All other Two Family.
Multiple Family	P	

Table 531-1: Uses

Use	Status	Limitations & Qualifications
Group Living		
Room and Board	N	
Residential Care	P	The following Residential Care activities: <ul style="list-style-type: none"> ▪ Residential Facility, as defined under ORS 197.660. ▪ Assisted living.
	N	All other Residential Care.
Nursing Care	P	In-patient rehabilitation and recuperative care.
	N	All other Nursing Care.
Lodging		
Short-Term Commercial Lodging	P	
Long-Term Commercial Lodging	N	
Non-Profit Shelters	P	Non-Profit Shelters serving 5 or fewer persons.
	C	Non-Profit Shelters serving 6 to 75 persons.
	N	All other Non-Profit Shelters.
Retail Sales and Services		
Eating and Drinking Establishments	P	Eating and Drinking Establishments, subject to SRC 531.010(c).
Retail Sales	P	Retail Sales, subject to SRC 531.010(c).
Personal Services	P	Personal Services, subject to SRC 531.010(c).
Postal Services and Retail Financial Services	P	Postal Services and Retail Financial Services, subject to SRC 531.010(c).
Business and Professional Services		
Office	P	
Audio/Visual Media Production	P	
Laboratory Research and Testing	P	Laboratory Research and Testing, subject to SRC 531.010(c).
Motor Vehicle, Trailer, and Manufactured Dwelling Sales and Service		
Motor Vehicle and Manufactured Dwelling and Trailer Sales	P	Indoor sales and leasing, subject to SRC 531.010(c).
	N	All other Motor Vehicle and Manufactured Dwelling and Trailer Sales.
Motor Vehicle Services	N	
Commercial Parking	N	Commercial Parking on surface parking lots.
	P	All other Commercial Parking, subject to SRC 531.010(c).
Park-and-Ride Facilities	P	
Taxicabs and Car Services	N	
Heavy Vehicle and Trailer Sales	N	
Heavy Vehicle and Trailer Service and Storage	N	
Recreation, Entertainment, and Cultural Services and Facilities		
Commercial Entertainment - Indoor	N	Firing Ranges.
	P	All other Commercial Entertainment – Indoor is permitted.
Commercial Entertainment - Outdoor	N	The following Commercial Entertainment – Outdoor activities: <ul style="list-style-type: none"> ▪ Recreational vehicle parks. ▪ Firing Ranges.

Table 531-1: Uses

Use	Status	Limitations & Qualifications
	P	All other Commercial Entertainment – Outdoor.
Major Event Entertainment	N	
Recreational and Cultural Community Services	P	
Parks and Open Space	P	
Non-Profit Membership Assembly	P	
Religious Assembly	P	
Health Services		
Medical Centers/Hospitals	N	
Outpatient Medical Services and Laboratories	P	
Educational Services		
Day Care	P	
Basic Education	P	
Post-Secondary and Adult Education	P	
Civic Services		
Governmental Services	P	
Social Services	P	
Governmental Maintenance Services and Construction	N	
Public Safety		
Emergency Services	P	
Detention Facilities	N	
Military Installations	N	
Funeral and Related Services		
Cemeteries	N	
Funeral and Cremation Services	N	
Construction Contracting, Repair, Maintenance, and Industrial Services		
General Repair Services	P	General Repair Services, subject to SRC 531.010(c).
Building and Grounds Services and Construction Contracting	N	The following Building and Grounds Services and Construction Contracting activities: <ul style="list-style-type: none"> ▪ Lawn and garden services. ▪ Exterminators.
	P	All other Building and Grounds Services and Construction Contracting, subject to SRC 531.010(c).
Cleaning Plants	P	Cleaning Plants, subject to SRC 531.010(c).
Industrial Services	N	
Wholesale Sales, Storage, and Distribution		
General Wholesaling	N	
Heavy Wholesaling	N	
Warehousing and Distribution	N	
Self-Service Storage	N	

Table 531-1: Uses

Use	Status	Limitations & Qualifications
Manufacturing		
General Manufacturing	P	General Manufacturing, subject to SRC 531.010(c).
Heavy Manufacturing	N	
Printing	P	Printing, subject to SRC 531.010(c).
Transportation Facilities		
Aviation Facilities	N	
Passenger Ground Transportation Facilities	P	
Marine Facilities	P	
Utilities		
Basic Utilities	P	
Wireless Communication Facilities	Allowed	Wireless Communication Facilities are allowed, subject to SRC Chapter 703.
Drinking Water Treatment Facilities	N	
Power Generation Facilities	N	
Data Center Facilities	N	
Fuel Dealers	N	
Waste-Related Facilities	N	
Mining and Natural Resource Extraction		
Petroleum and Natural Gas Production	N	
Surface Mining	N	
Farming, Forestry, and Animal Services		
Agriculture	N	
Forestry	N	
Agriculture and Forestry Services	N	
Keeping of Livestock and Other Animals	N	
Animal Services	P	
Other Uses		
Home Occupations	S	Home Occupations, subject to SRC 700.020.

(b) Additional Prohibited Uses. Notwithstanding Table 531-1, any permitted, special, or conditional use within the SWMU zone less than 10,000 square feet in total floor shall be a prohibited use within the SWMU zone if developed with a drive-through.

(c) Limitations on Uses. Where a use is allowed subject to the provisions of this subsection, the use shall conform to the following additional limitations:

(1) Establishments under the following uses shall be limited to no more than 10,000 square feet of total floor area per establishment:

- (A)** Laboratory Research and Testing.
- (B)** Building and Grounds Services and Construction Contracting.
- (C)** Cleaning Plants.
- (D)** General Manufacturing.
- (E)** Printing.

- (2) The total floor area of all establishments falling under Motor Vehicle and Manufactured Dwelling and Trailer Sales shall be limited to a maximum of 20,000 square feet.
- (3) Buildings for establishments under the following uses shall be limited to no more than 40,000 square feet of ground floor area:
 - (A) Retail Sales, with the exception of grocery stores. Grocery stores shall be limited to buildings with no more than 60,000 square feet of ground floor area.
 - (B) Personal Services.
 - (C) Postal Services and Retail Financial Services.
 - (D) General Repair Services.
 - (E) Animal Services.
- (4) Buildings for establishments under the following uses shall be limited to no more than 60,000 square feet of ground floor area:
 - (A) Eating and Drinking Establishments.
 - (B) Commercial Entertainment – Indoor.
 - (C) Commercial Entertainment – Outdoor.
- (5) Commercial Parking shall be limited to the following locations:
 - (A) Structures existing as of January 7, 2009, that have been rehabilitated or remodeled to allow for the use of the structure for parking.
 - (B) Underground parking structures.
 - (C) Any other structures, provided:
 - (i) No more than 25 percent of the parking spaces within an individual structure shall be used for Commercial Parking.
 - (ii) The total number of parking spaces within the structures shall not exceed the maximum number of parking spaces allowed for each use pursuant to SRC Chapter 806.

(d) Mix of Uses Required.

- (1) Within the SWMU zone a minimum of 15 percent of each development site shall be Household Living and a minimum of 15 percent of each development site shall be other than Household Living. The percentage shall be calculated by determining the percentage of total habitable building floor area devoted to Household Living activities and the total habitable building floor area devoted to activities other than Household Living, relative to the total habitable building floor area, exclusive of parking structures and other non-habitable space. Total habitable building floor area used for Short-Term Commercial Lodging may be substituted for up to 25 percent of the required Household Living area.
- (2) The required mix of uses may be reduced to a minimum of 5 percent provided the following are met:
 - (A) There is a vertical mix of uses in one or more mixed-use buildings. The mix shall include space for activities other than Household Living on at least a portion of the ground floor and Household Living activities on one or more upper floors; and
 - (B) All ground floor Household Living activities facing a public street shall maintain a minimum structural ceiling height of 12 feet to provide the opportunity for future conversion to activities other than Household Living. (Ord No. 31-13; Ord No. 11-14)

531.015. Development Phasing Plan.

- (a) **Applicability.** When the required mix of uses for a development site will be met in phases, no development shall occur without receiving development phasing plan approval as provided in this section.
- (b) **Procedure Type.** A development phasing plan is processed as a Type II procedure under SRC Chapter 300.

(c) Submittal Requirements. In addition to the submittal requirements for a Type II application under SRC Chapter 300, an application for a development phasing plan shall include a site plan(s), of a size and form and in the number of copies meeting the standards established by the Planning Administrator, containing the following information:

- (1) The approximate location, amount in square feet (a size range may be provided), and sequence for development of each use;
- (2) The approximate location of proposed parking areas, landscaping, on-site circulation, and other on-site improvements; showing how each will function after the completion of each phase and following complete build-out of the development site; and
- (3) The approximate location and sequence of development of proposed City infrastructure and public utilities necessary to serve the project; showing how each will be constructed, dedicated, and/or reserved.

(d) Criteria. A development phasing plan shall be approved if the following criteria are met:

- (1) The plan provides for a mix of uses, as required under SRC 531.010(d). If a size range for uses was provided, the plan demonstrates that the square footages of uses prescribed by the range meet the minimum mix of uses required under SRC 531.010(d).
- (2) The plan demonstrates that parking, landscaping, on-site circulation, and other on-site improvements can be provided in manner allowing them to function both independently for each phase and cohesively as a whole following complete build out of the development site.
- (3) The plan appears to be consistent with the applicable provisions of this Chapter.
- (4) The plan demonstrates that adequate City infrastructure and public utilities can be provided to serve the project for each phase and following complete build out of the development site.

(e) Effect of Development Phasing Plan Approval.

- (1) Where a development phasing plan has been approved for a development site, development of each phase must be consistent with the approved development phasing plan. If a development application for a subsequent phase is submitted that is not consistent with the previously approved development phasing plan, a modified development phasing plan must be submitted as provided under SRC 531.020.
- (2) Notwithstanding paragraph (1) of this subsection, a development phasing plan does not convey subsequent phases of a project with any vested rights to the proposed development. (Ord No. 31-13)

531.020. Modification of Development Phasing Plan.

(a) Applicability. A development phasing plan may be modified after its effective date if the proposed modification meets the criteria in this section.

(b) Procedure Type. Modification of a development phasing plan is processed as a Type II procedure under SRC Chapter 300.

(c) Submittal Requirements.

(1) In addition to the submittal requirements for a Type II application under SRC Chapter 300, an application for modification of a development phasing plan shall include a site plan(s), of a size and form and in the number of copies meeting the standards established by the Planning Administrator, for the entire site area shown in the original development phasing plan containing the following information:

- (A) The approximate location, amount in square feet, and sequence for development of each use. Development that has occurred in prior phases of the original development phasing plan may be used by the applicant in the percentage calculations of the modified development phasing plan, regardless of property ownership or control at the time of the submittal;

(B) The approximate location of proposed parking areas, landscaping, on-site circulation, and other on-site improvements; showing how each will function after the completion of each phase, and following complete build-out of the development site; and

(C) The approximate location and sequence of development of proposed City infrastructure and public utilities necessary to serve the project; showing how each will be constructed, dedicated, and/or reserved.

(2) It is not necessary that owners of previously developed lots shown on the original development phasing plan sign the application for the revised development phasing plan unless the revised development phasing plan would impact the mix of uses or the parking, landscaping, on-site circulation, or other on-site improvements on the previously developed lot.

(d) **Criteria.** An application for modification of a development phasing plan shall be approved if the following criteria are met:

(1) The proposed modification maintains a mix of uses, as required under SRC 531.010(d).

(2) The proposed modification will not result in parking, landscaping, on-site circulation, and other on-site improvements being provided in a manner that prevents them from functioning both independently for each phase and cohesively as a whole following complete build out of the development site.

(3) The plan appears to be consistent with the applicable provisions of this Chapter.

(4) The proposed modification does not affect the provision of adequate City infrastructure and public utilities to serve the project. (Ord No. 31-13)

531.025. Development Standards. Development within the SWMU zone must comply with the development standards set forth in this section.

(a) **Lot Standards.** Lots within the SWMU zone shall conform to the standards set forth in Table 531-2.

**TABLE 531-2
LOT STANDARDS**

Table 531-2: Lot Standards		
Requirement	Standard	Limitations & Qualifications
LOT AREA		
All Uses	None	
LOT WIDTH		
All Uses	None	
LOT DEPTH		
All Uses	None	
STREET FRONTAGE		
All Uses	None	

(b) **Setbacks.** Setbacks within the SWMU zone shall be provided as set forth in Table 531-3.

**TABLE 531-3
SETBACKS**

Table 531-3: Setbacks		
Requirement	Standard	Limitations & Qualifications
ABUTTING STREET		
Buildings and Accessory Structures		
All uses	Per SRC 531.035	
Vehicle Use Areas		
All uses	Per SRC Chapter 806	
INTERIOR FRONT		
Buildings and Accessory Structures		
All uses	Per SRC 531.035	
Vehicle Use Areas		
All uses	Per SRC Chapter 806	
INTERIOR SIDE		
Buildings and Accessory Structures		
All uses	Per SRC 531.035	
Vehicle Use Areas		
All uses	Per SRC Chapter 806	
INTERIOR REAR		
Buildings and Accessory Structures		
All uses	Per SRC 531.035	
Vehicle Use Areas		
All uses	Per SRC Chapter 806	

(c) **Lot Coverage; Height.** Buildings and accessory structures within the SWMU zone shall conform to the lot coverage, and height standards set forth in Table 531-4. (Ord No. 31-13)

**TABLE 531-4
LOT COVERAGE; HEIGHT**

Table 531-4: Lot Coverage; Height		
Requirement	Standard	Limitations & Qualifications
LOT COVERAGE		
Buildings and Accessory Structures		
All uses	No Max.	
HEIGHT		
Buildings		
All uses	No Max.	
Accessory Structures		
Accessory to all uses	No Max.	

531.030. Design Review. Design review under SRC Chapter 225 is required for development within the SWMU zone as follows:

(a) Except as otherwise provided in this section, design review according to the design review guidelines or the design review standards set forth in SRC 531.035 is required for all development within the SWMU zone.

(b) In lieu of design review according to the design review guidelines or the design review standards set forth in SRC 531.035, development affecting non-conforming buildings or non-conforming structures existing as of January 7, 2009 shall be subject to design review demonstrating how the proposed development reduces the degree of non-conformity with the applicable design review guidelines set forth in SRC 531.035.

(c) Multiple Family development shall only be subject to design review according to the design review guidelines or the design review standards set forth in SRC 531.035. (Ord No. 31-13)

531.035. Design Review Guidelines and Design Review Standards.

(a) **Pedestrian-Oriented Building Design: General.** The design review guidelines and design review standards set forth in this subsection apply to buildings throughout the entire South Waterfront Mixed-Use zone (see Figure 531-1); provided, however, the design review guidelines and design review standards do not apply to building facades that are both facing and located within 80 feet of the railroad right-of-way.

**FIGURE 531-1
SOUTHWATERFRONT MIXED-USE ZONE**



(1) Building Facades.

(A) Design Review Guidelines.

(i) Architectural detailing shall be incorporated that visually divides and breaks up the building's vertical mass in a manner that is complimentary to Downtown Salem's existing building stock.

(B) Design Review Standards.

(i) All buildings, regardless of height or number of stories, shall divide vertical mass into three clear and distinct zones: a base, middle, and top (see Figure 531-2). The base must at least encompass the first full building floor above grade. Vertical building mass shall be divided by using one or more of the following architectural detailing techniques to differentiate the base, middle, and top of the building:

(aa) Horizontal bands, such as string courses or projecting cornices.

Horizontal bands shall be a minimum of 8 inches in height and must project a minimum of 3/4 inch from the building facade. Cornices must project a minimum of 1 foot, but not more than 5 feet, from the facade of the building.

(bb) Changes in building form/massing through the use of building offsets or projections measuring a minimum of 3 feet in depth.

(cc) Changes in color, pattern, and/or material. If changes in color, pattern, and/or material are utilized as an architectural detailing technique, it must be used in combination with one or more of the other identified architectural detailing techniques.

**FIGURE 531-2
DIVISION OF VERTICAL BUILDING MASS (BASE, MIDDLE, AND TOP)**



(2) Ground Floor Height.

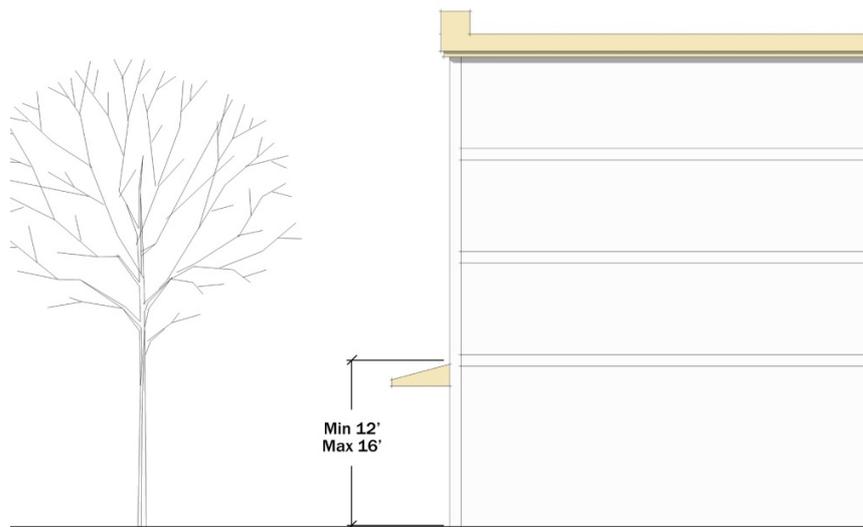
(A) Design Review Guidelines.

(i) The ground floors of buildings along streets, or facing open space, shall be of sufficient height to be easily converted to commercial use. If a raised foundation or one-half story of visible below grade parking is provided, this level shall enhance the pedestrian environment along the sidewalk through landscaping or other techniques to ensure a pedestrian-friendly environment.

(B) Design Review Standards.

(i) The ground floors of buildings along streets, or facing open space, shall be a minimum of 12 feet, but not more than 16 feet, in height (see Figure 531-3). For the purposes of this standard, ground floor height is measured from the top of the building foundation to the ceiling of the first floor.

**FIGURE 531-3
GROUND FLOOR HEIGHT**



(3) Building Transparency.

(A) Design Review Guidelines.

(i) Ground floor building facades facing streets and open space shall include large transparent windows to ensure that the ground floor promotes a sense of interaction between activities in the building and activities in the public realm.

(ii) Windows on ground floor and upper floor building facades shall be provided to ensure that public and private open spaces are safe and secure at all times by providing sufficient “eyes” on streets, courtyards, forecourts, plazas, and parks.

(B) Design Review Standards.

(i) Ground floor building facades facing streets and open space shall include transparent windows along a minimum of 60 percent of the length, and on a minimum of 60 percent of the overall area, of the ground floor facade (see Figure 531-4). This includes ground floor facades facing streets, Pringle Creek, public open spaces, and private open spaces such as forecourts or plazas. For purposes of this standard, ground floor facade area includes exterior wall areas up to 12 feet above finished grade. Loading and service areas, ground floor parking, one-half story below grade visible parking, above grade raised foundations, and ground floor residential dwelling units are exempt from this requirement.

(ii) Ground floor windows shall have a minimum Visible Transmittance (VT) of 60 percent; provided, however, medical and dental offices may have tinted windows.

(iii) Upper floor building facades facing streets and open space shall include vertically-oriented windows along a minimum of 30 percent of each building floor

length, and on a minimum of 30 percent of the overall exterior wall area, of the upper floor facade.

**FIGURE 531-4
BUILDING TRANSPARENCY**



(4) Primary Building Entries.

(A) Design Review Guidelines.

- (i) Primary building entries shall be inviting to pedestrians and promote a sense of interaction between the public and private realms. Opaque doors shall be avoided.
- (ii) Building entries shall create a “transition zone” between the public realm on the sidewalk and the private realm within the building.

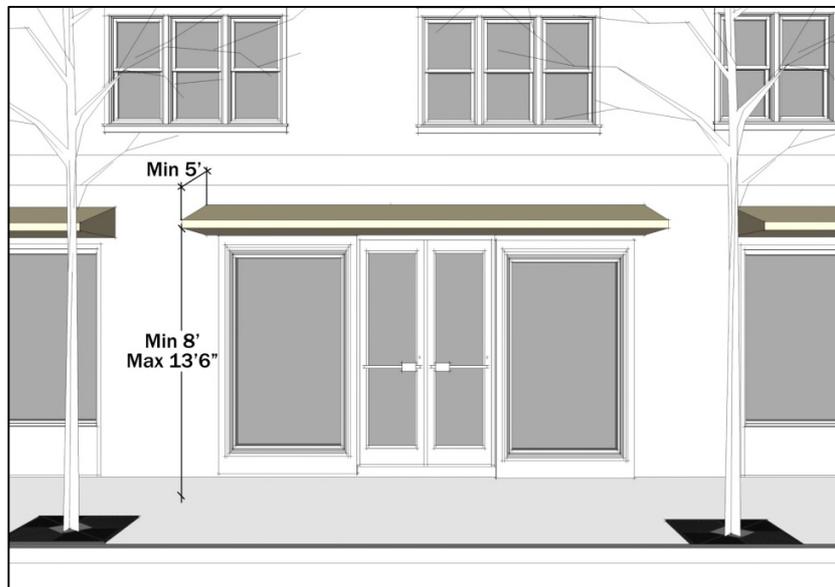
(B) Design Review Standards.

- (i) Primary building entries shall be comprised of a minimum of 40 percent transparent glass (see Figure 531-5). The glass shall have a minimum Visible Transmittance (VT) of 60 percent. Opaque doors are not permitted. Entries opening directly into individual residential dwellings are exempt from this requirement.
- (ii) Primary building entries shall:
 - (aa) Include weather protection, in the form of awnings or canopies. Awnings and canopies shall have a minimum depth of 5 feet, and shall have a minimum clearance height above the sidewalk of 8 feet and a maximum clearance height above the sidewalk of 13 feet 6 inches (see Figure 531-6); or
 - (bb) Be recessed into the building facade a minimum depth of 3 feet (see Figure 531-7).

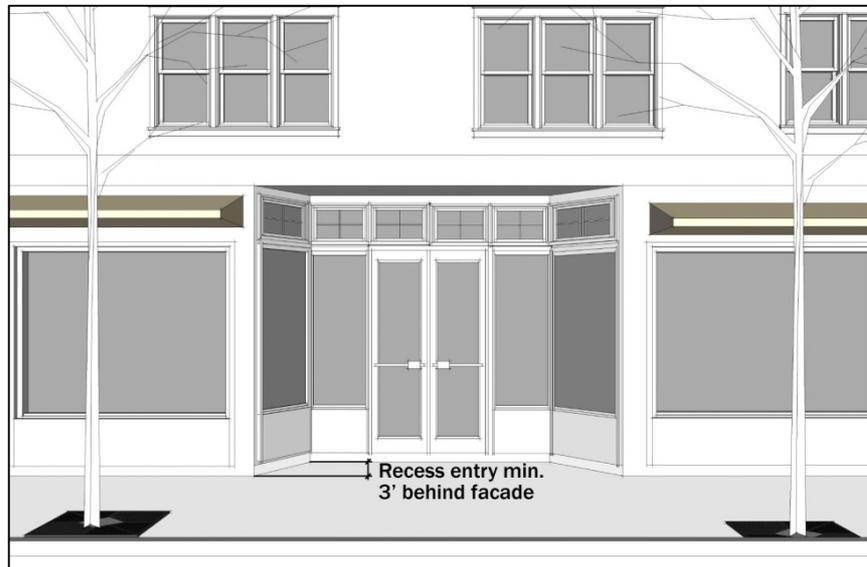
**FIGURE 531-5
TRANSPARENT BUILDING ENTRIES**



**FIGURE 531-6
PRIMARY ENTRY AWNING/CANOPY DIMENSIONS**



**FIGURE 531-7
RECESSED ENTRY DIMENSIONS**



(5) Mechanical and Service Equipment.

(A) Design Review Guidelines.

(i) Ground level and rooftop mechanical and service equipment shall be visually screened and, whenever possible, located so it is not visible from public sidewalks and open spaces.

(ii) Maximize opportunities to incorporate sustainable energy measures, such as solar panels and wind generators, into buildings.

(B) Design Review Standards.

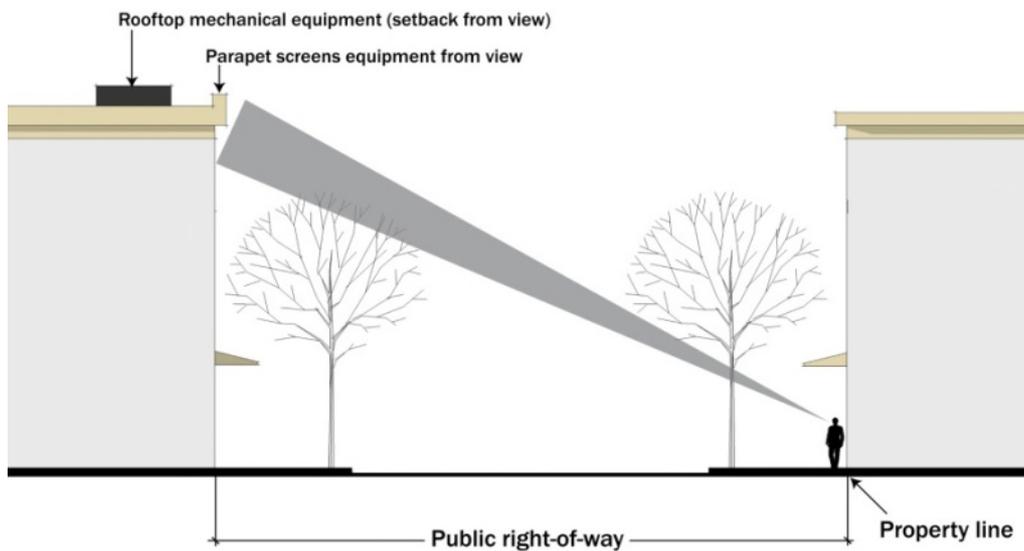
(i) Ground level mechanical and service equipment, such as garbage collection areas, recycling collection areas, and mechanical equipment, shall be screened with landscaping or a site obscuring fence or wall (see Figure 531-8). Ground level mechanical and service equipment and its associated screening shall be located so as to not be visible from public sidewalks and open spaces.

(ii) Rooftop mechanical equipment, with the exception of solar panels and wind generators, shall be setback and screened so as to not be visible to a person standing on the property line on the far side of any adjacent, at-grade public street (see Figure 531-9). All rooftop mechanical equipment shall be setback and screened so as to not be visible to a person standing 60 feet from the building within any adjacent public open space.

FIGURE 531-8
SCREENING OF GROUND LEVEL MECHANICAL AND SERVICE EQUIPMENT



FIGURE 531-9
SCREENING OF ROOFTOP MECHANICAL EQUIPMENT



(b) Pedestrian-Oriented Building Design: Specific. The design review guidelines and design review standards set forth in this subsection apply to buildings located along the north side of Pringle Creek, along Commercial Street, and at the corner of Commercial Street and Front Street (see Figure 531-10). The design review guidelines and design review standards applicable to parking included under paragraph (2) of this subsection apply to all of the above frontages, and to the frontage along Front Street, as shown in Figure 531-10.

**FIGURE 531-10
 APPLICABILITY OF REQUIREMENTS FOR PEDESTRIAN-ORIENTED BUILDING DESIGN:
 SPECIFIC**



(1) Building Setbacks and Frontages.

(A) Design Review Guidelines.

- (i) Buildings shall create well-defined “edges” to the public realm by minimizing setbacks from the street right-of-way. Zero lot line buildings are encouraged. Buildings may be sited so as to create opportunities for well-designed public or civic spaces between buildings and the sidewalk.
- (ii) A comfortable, inviting, and well-framed open space environment shall be created along Pringle Creek by establishing a well-defined building wall “edge” along the north bank of the creek.
- (iii) Pringle Creek, the site’s principal natural asset, shall be preserved by setting buildings back a sufficient distance from the north bank of the creek.
- (iv) Buildings and primary building entries shall be oriented to and easily accessible from sidewalks and public open space.

(B) Design Review Standards.

- (i) Except along Pringle Creek, buildings shall be oriented to the right-of-way, and shall be built to the front lot line contiguous with the right-of-way (see Figure 531-

11). This standard applies to the first 25 feet or two stories of building height only. Above 25 feet or two stories in height, a building may be setback from the right-of-way.

(ii) Along Front Street, or at identified “Gateway” corners, buildings may be set back up to 50 feet, provided the area within the setback is developed as a public plaza. In other locations, buildings may be setback up to 20 feet for not more than 50 percent of the length of the building facade, provided the area within the setback is developed as public or private gathering space, such as forecourts or plazas (see Figure 531-12).

(iii) Buildings that are chamfered at the corner may be set back to the extent necessary to accommodate the chamfered corner.

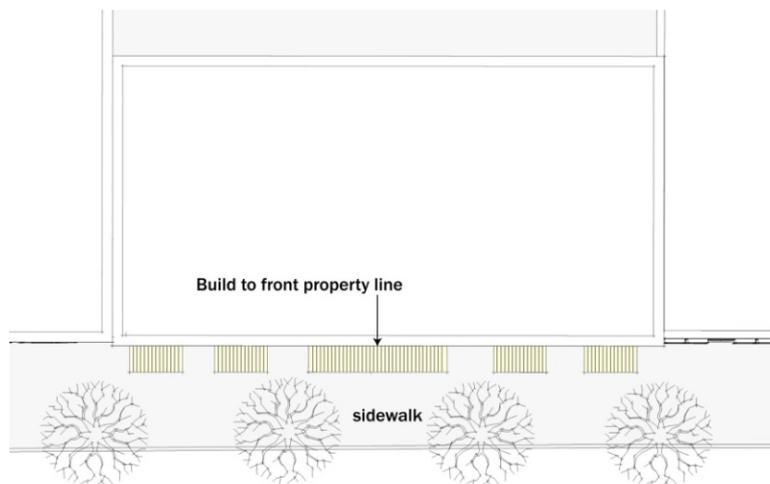
(iv) Upon redevelopment, and to the extent appropriate permitting agencies authorize, existing buildings over Pringle Creek shall be removed. Construction of new buildings over Pringle Creek is prohibited.

(v) Along the north bank of Pringle Creek, buildings shall be set back a minimum of 20 feet from the creek.

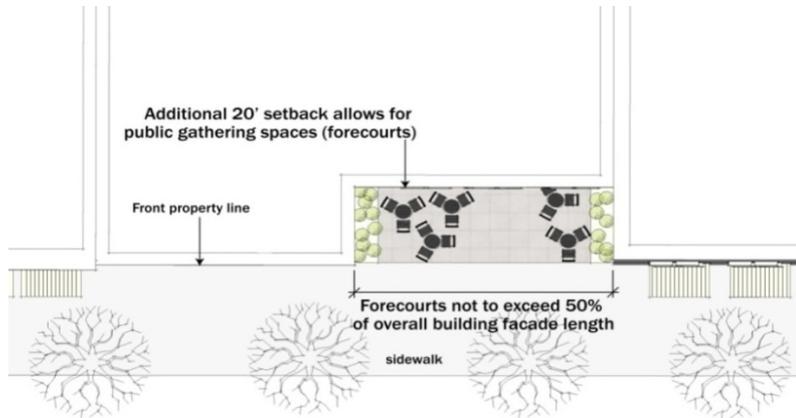
(vi) Lots fronting on Commercial Street or abutting Pringle Creek shall provide continuous building frontage along the public right-of-way and/or the creek face for a minimum of 75% of the width of the lot (see Figure 531-13).

(vii) Primary building entrances shall be located either along Commercial Street, Front Street, or the north bank of Pringle Creek, or oriented to public street intersections or street corners. Primary building entrances shall be directly connected to the sidewalk.

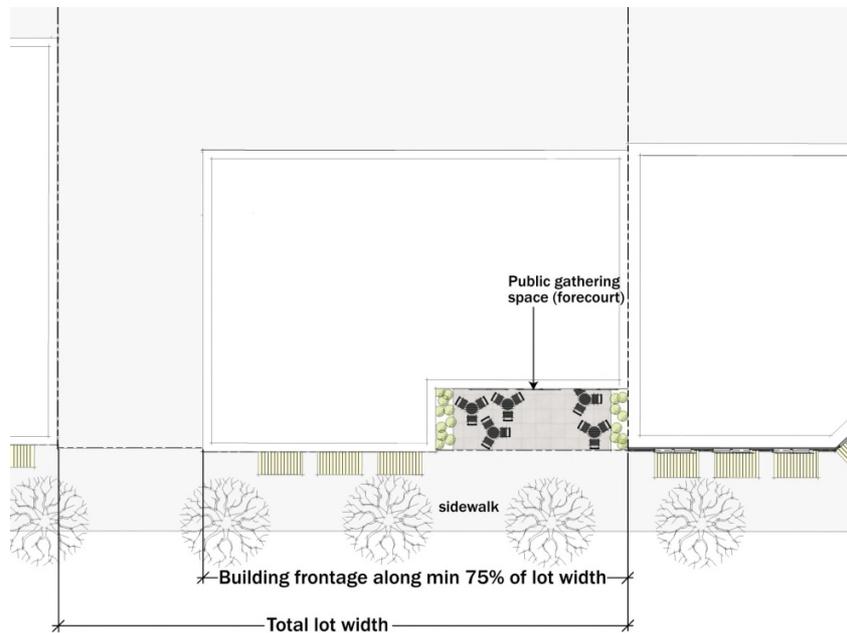
**FIGURE 531-11
BUILDINGS CONSTRUCTED CONTIGUOUS TO FRONT PROPERTY LINE**



**FIGURE 531-12
ADDITIONAL FRONT SETBACK FOR GATHERING SPACE**



**FIGURE 531-13
REQUIRED BUILDING FRONTAGE ALONG COMMERCIAL STREET AND PRINGLE CREEK**



(2) Parking.

(A) Design Review Guidelines.

(i) Surface parking lots along buildings facing public streets shall be buffered from view by pedestrians on the sidewalk. Whenever possible, surface parking lots shall be placed behind buildings.

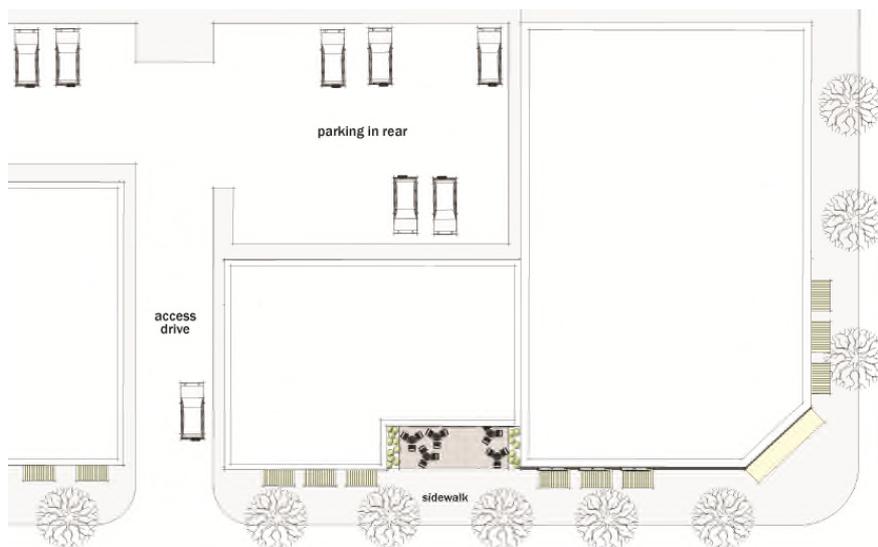
(ii) Parking structures fronting on public streets shall include space for ground floor commercial and/or Household Living uses along their public street facing facades in order to create an active and engaging pedestrian environment.

(B) Design Review Standards.

(i) Off-street parking is prohibited between buildings and the street, except along Front Street (see Figure 531-14). Along Front Street, disabled parking and passenger loading and unloading zones are permitted between buildings and the street.

(ii) Parking structures fronting on Commercial Street or Front Street shall include space for ground floor commercial and/or Household Living uses along a minimum of 70 percent of their Commercial Street or Front Street facing facades.

**FIGURE 531-14
SURFACE PARKING LOCATED BEHIND BUILDING**



(3) Weather Protection.

(A) Design Review Guidelines.

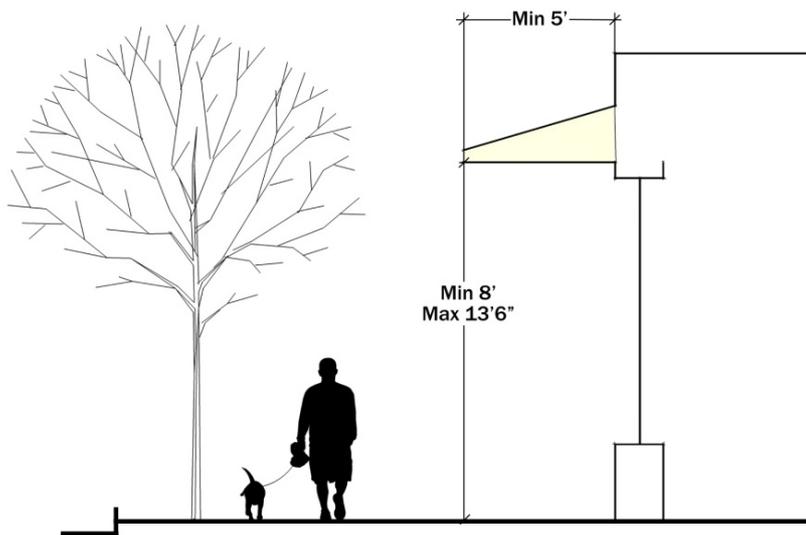
(i) Weather protection, in the form of awnings, canopies, arcades, or galleries appropriate to the design of the building, shall be provided along ground floor building facades facing streets and public space in order to create a comfortable and inviting pedestrian environment.

(B) Design Review Standards.

(i) Weather protection, in the form of awnings, canopies, arcades, or galleries, shall be provided along a minimum of 50 percent of the length of the ground floor building facade facing streets and public space.

(ii) Awnings and canopies shall have a minimum depth of 5 feet, and shall have a minimum clearance height above the sidewalk of 8 feet and a maximum clearance height above the sidewalk of 13 feet 6 inches (see Figure 531-15).

**FIGURE 531-15
AWNING/CANOPY DIMENSIONS**



(c) **Relationship to Riverfront Park.** The design review guidelines and design review standards set forth in this subsection apply to buildings located on lots immediately adjacent to Riverfront Park (see Figure 531-16).

**FIGURE 531-16
APPLICABILITY OF REQUIREMENTS FOR RELATIONSHIP TO RIVERFRONT PARK**



(1) Park-Facing Ground Floors.

(A) Design Review Guidelines.

(i) The park-facing ground floors of buildings located along Riverfront Park shall be highly integrated and responsive to the park and shall enhance the public environment. If structured parking is provided, the park facing ground floor of the parking structure shall include space for commercial and/or Household Living uses to the extent practicable in order to activate the ground floor and provide “eyes” on the park.

(B) Design Review Standards.

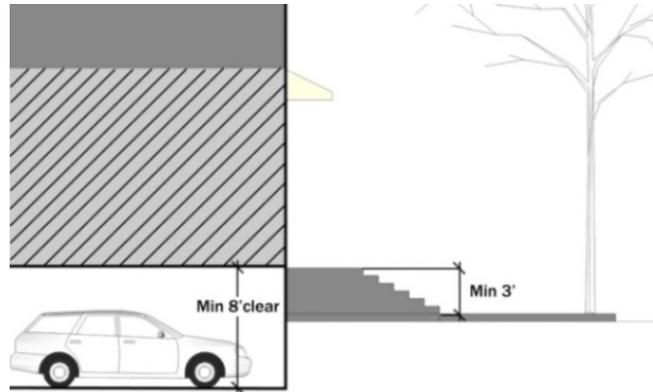
(i) Buildings located along Riverfront Park shall include space for ground floor commercial and/or Household Living uses along a minimum of 70 percent of their park-facing facades. Commercial uses must provide pedestrian access to and from the park. If Household Living uses are provided on the ground floor, building entries to individual dwelling units must provide pedestrian access to and from the park. Fences, privacy hedges, or other partitions may be used to separate private outdoor Household Living space from public space, but may be no more than 48 inches in height (see Figure 531-17).

(ii) Parking structures shall include space for ground floor commercial and/or Household Living uses along a minimum of 70 percent of their park facing facades, unless the parking is “tucked” beneath the building one-half story below grade. When parking is “tucked” beneath the building one-half story below grade, the ground floor of the building must be accessed via a stoop that is a minimum of 3 feet, but not more than 4 feet 6 inches, in height (see Figure 531-18). Parking levels must provide a minimum vertical clearance of 8 feet (see Figure 531-18). Any exposed parking ventilation areas visible from the pedestrian level must be screened with landscaping. A stoop may be counted toward the minimum ground floor height required under SRC 531.035(a)(2).

**FIGURE 531-17
PRIVATE OUTDOOR SPACE SEPARATED FROM PUBLIC SPACE**



FIGURE 531-18
PARKING “TUCKED” BENEATH BUILDING WITH STOOP



(2) Building Shadows. Conformance with the design review guidelines and design review standards set forth in this paragraph shall be demonstrated through conducting a shadow study.

(A) Design Review Guidelines.

(i) Buildings shall be sited adjacent to Riverfront Park in a manner that minimizes shadows on the playground.

(B) Design Review Standards.

(i) Buildings shall be sited adjacent to Riverfront Park so that shadows are not cast on the playground as follows:

(aa) No shadow shall be cast on the playground on March 21st (vernal equinox) at 3:00 p.m. (see Figure 531-19); and

(bb) No shadow shall be cast on the playground on December 21st (winter solstice) at 3:00 p.m. (see Figure 531-20).

FIGURE 531-19
SHADOW STUDY ILLUSTRATING SHADOW IMPACTS AT 3:00 P.M. ON MARCH 21ST

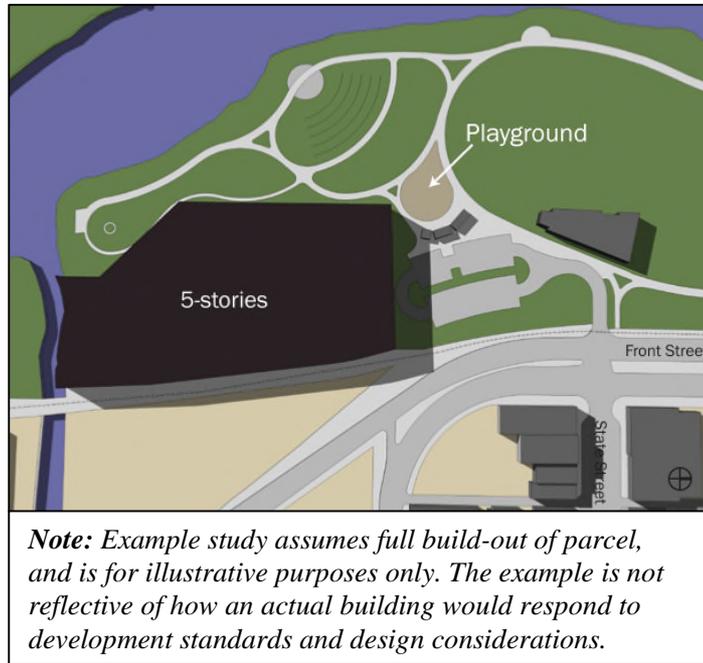
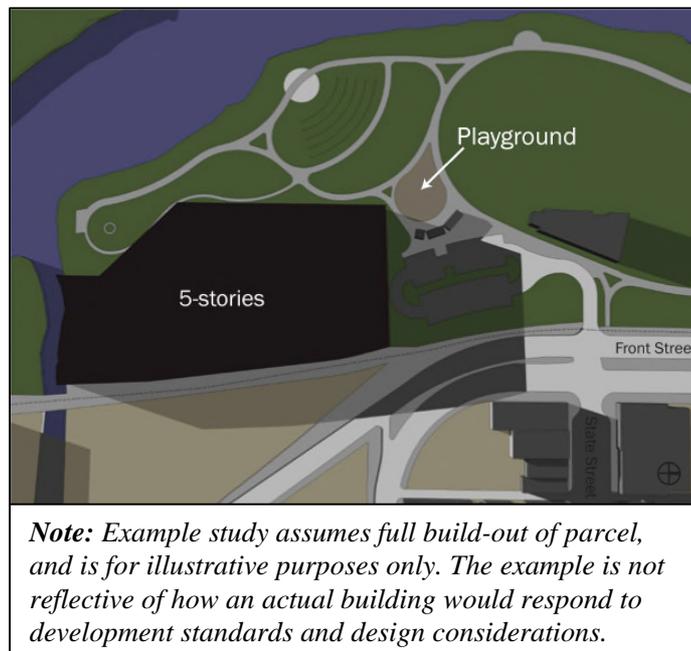


FIGURE 531-20
SHADOW STUDY ILLUSTRATING SHADOW IMPACTS AT 3:00 P.M. ON DECEMBER 21ST



(d) Gateways. The design review guidelines and design review standards set forth in this subsection apply only to corner or “Gateway” locations identified in Figure 531-21.

**FIGURE 531-21
APPLICABILITY OF REQUIREMENTS FOR GATEWAYS**



(1) Corner Treatments.

(A) Design Review Guidelines.

(i) Buildings located at corners and gateways shall incorporate architectural or site planning design elements that visually emphasize the corner of the building. One or more of the following techniques may be used to meet this guideline:

(aa) Prominent architectural elements that emphasize the corner of the building, such as increased building height or massing, cupolas or turrets, pitched roofs at the corner of the building, special window treatments, etc. (see Figure 531-22).

(bb) Special “signature” signage located at the corner of the building (see Figure 531-24).

(cc) Public gathering spaces, such as plazas, located at the corner that incorporate special paving materials, site furnishings, and/or landscaping treatments (see Figure 531-25).

(B) Design Review Standards.

- (i) Buildings located at corners and gateways shall provide primary building entries located at chamfered corners (see Figure 531-23).

**FIGURE 531-22
ARCHITECTURAL ELEMENTS THAT EMPHASIZE BUILDING CORNERS**



**FIGURE 531-23
PRIMARY BUILDING ENTRY LOCATED AT CHAMFERED BUILDING CORNER**



FIGURE 531-24
“SIGNATURE” SIGNAGE AT BUILDING CORNER



FIGURE 531-25
PUBLIC GATHERING SPACES AT BUILDING CORNERS



(e) Pedestrian Connections. The design review guidelines and design review standards set forth in this subsection apply to developments along the north bank of Pringle Creek and to developments at the western and northern edges of the site abutting Riverfront Park, as identified in Figure 531-26.

**FIGURE 531-26
REQUIRED PEDESTRIAN CONNECTIONS**



(1) Required Pedestrian Connections.

(A) Design Review Guidelines.

- (i) An easement or public dedication shall be provided promoting connectivity for non-vehicular traffic along the north bank of Pringle Creek. The connection shall be accessible from the sidewalk along Commercial Street, and shall connect to Riverfront Park.
- (ii) Convenient pedestrian access and connectivity shall be provided from the northwestern portion of the site to pedestrian facilities in Riverfront Park.

(B) Design Review Standards.

- (i) At least one public pedestrian connection shall be provided along the north bank of Pringle Creek (see Figure 531-26). The pedestrian connection shall connect to the sidewalk along Commercial Street at street level.
- (ii) At least two pedestrian connections shall be provided from the site to the established pedestrian paths in Riverfront Park as follows:
 - (aa) One connection to Riverfront Park shall be provided at the western edge of the site (see Figure 531-26).
 - (bb) One connection to Riverfront Park shall be provided at the northern edge of the site (see Figure 531-26).

(iii) A pedestrian connection shall be provided to connect the west sidewalk along Commercial Street to established pedestrian paths in Riverfront Park.

(iv) Required pedestrian connections along the north bank of Pringle Creek shall be a minimum width of 10 feet. (Ord No. 31-13)

531.040. Other Provisions. In addition to the standards set forth in this Chapter, development within the SWMU zone must comply with all other applicable development standards of the UDC, including but not limited to the following chapters:

(a) Trees and Shrubs	SRC Chapter 86
(b) Wireless Communications Facilities	SRC Chapter 703
(c) General Development Standards	SRC Chapter 800
(d) Public Improvements	SRC Chapter 802
(e) Streets and Right-of-Way Improvement	SRC Chapter 803
(f) Driveway Approaches	SRC Chapter 804
(g) Vision Clearance	SRC Chapter 805
(h) Off-Street Parking, Loading, and Driveways	SRC Chapter 806
(i) Landscaping and Screening	SRC Chapter 807
(j) Preservation of Trees and Vegetation	SRC Chapter 808
(k) Wetlands	SRC Chapter 809
(l) Landslide Hazards	SRC Chapter 810
(m) Sign Code	SRC Chapter 900

(Ord No. 31-13)

