

FOR THE MEETING OF: March 18, 2021
AGENDA ITEM: 5.a

TO: Historic Landmarks Commission

THROUGH: Lisa Anderson-Ogilvie, AICP, Deputy Community Development Director and Planning Administrator

FROM: Kimberli Fitzgerald, AICP, Historic Preservation Officer

HEARING DATE: March 18, 2021

CASE NO.: Historic Design Review Case No. HIS21-01

APPLICATION SUMMARY: A proposal to rehabilitate the enclosed porch (circa 1927) and kitchen (circa 1906) attached to the rear of the William H. Byrd house (1887).

LOCATION: ~~900 Court Street NE~~ 296 14th St NE

REQUEST Major Historic Design Review of a proposal to rehabilitate the enclosed porch (circa 1927) and kitchen (circa 1906) attached to the rear of the William H. Byrd house (1887), a historic contributing building within the Court Chemeketa District, on property zoned RD (Duplex Residential), and located at 296 14th St. NE 97301; Marion County Assessor Map and Tax Lot number: 073W26BA-11600, located at 900 Court Street NE (Marion County tax lot 073W27AA00200).

APPLICANT(S): Connie Strong

APPROVAL CRITERIA: Salem Revised Code (SRC) Chapter 230
230.065 General Guidelines for Historic Contributing Resources

RECOMMENDATION: APPROVE

BACKGROUND

On February 19, 2021, the applicant submitted materials for a Major Historic Design Review for rehabilitating the enclosed porch and kitchen at the rear of the William Byrd House. Supplemental materials were submitted, and the application was deemed complete for processing on February 26, 2021.

In 2017 the HLC approved HIS17-16 authorizing the rehabilitation of the original 1887 portion of the resource. In 2018 the HLC approved HIS17-16MOD1, a modification of that original approval, authorizing the addition of fencing. At this time the applicant had

originally also requested approval to alter the screened porch and kitchen additions but withdrew this portion of the request prior to the hearing in 2018. The HLC adopted a Condition of Approval as part of this Decision requiring the north kitchen stairs to be reconstructed in their original location. The HLC findings within this decision stated that if it was not feasible for the applicant to meet this condition, the applicant must propose an alternative location and design for either the fencing or the stairs.

Notice of public hearing was sent by mail to residents of the Court-Chemeketa Historic District and surrounding property owners and tenants within 250 feet of the property pursuant to Salem Revised Code (SRC) requirements on February 26, 2021 (**Attachment A**). Public hearing notice was also posted on the property in accordance with the posting provision outlined in SRC 300.620. The City of Salem Historic Landmarks Commission will hold a virtual public hearing for the case on March 18, 2021 at 5:30 p.m.

The state-mandated 120-day deadline to issue a final local decision, including any local appeals in this case is June 26, 2021, unless an extension is granted by the applicant.

PROPOSAL

The applicant is proposing to rehabilitate the existing porch and kitchen located at the rear of the William Byrd House (**Attachment B**). The applicant is proposing the following alterations:

Site: Driveway/Parking Pad: New concrete 12' x 40' long parking pad located east of the rear of the house underneath the existing pergola;

Fencing and Gate(s): Installation of a new 6' high cedar 9' wide vehicular gate, replacing the existing 6' cedar fence topped by lattice located east of the rear of the house.

Foundation: A new foundation will be installed underneath the existing kitchen and porch.

East Elevation: Removal of the stairs and the existing window, door, two screened openings (65" x 32"). Installation of four (4) wood framed single light 30" x 80" windows on the southern end of this façade. Two (2) new double hung 48" x 54" multi-paned (2 over 4) double hung wood windows will be installed on the northern end. New wooden stairs will be constructed and installed at the north end of this façade leading to a small porch with wooden rails on the north facade.

South Elevation: One 27" x 40" window will be removed and a new wooden multi-light 50" x 77" window will be installed.

North Elevation: The existing screen opening (54" x 32" in size) will be removed, a new wooden porch (5' x 11'8 1/2") installed (note that within the interior of this porch- the existing raised floor at the western end of this porch above the basement door (1'3" higher than the remaining portion) -will remain). Two relocated kitchen windows (28" x 44" and

27" x 40") will be installed flanking the exterior kitchen entry door. The relocated wooden exterior screen door (30" x 80" in size) will be installed on this façade at this entry. Rotten siding will be replaced with salvaged siding to match the existing.

SUMMARY OF RECORD

The following items are submitted to the record and are available upon request: All materials submitted by the applicant and any materials and comments from public agencies, City departments, neighborhood associations, and the public; and all documents referenced in this report.

APPLICANT'S STATEMENT

A request for historic design review must be supported by proof that it conforms to all applicable criteria imposed by the Salem Revised Code. The applicants submitted a written statement, which is included in its entirety as **Attachment C** in this staff report.

Staff utilized the information from the applicant's statements to evaluate the applicant's proposal and to compose the facts and findings within the staff report. Salem Revised Code (SRC) **230.065 General Guidelines for Historic Contributing Resources** are the applicable criteria for evaluation of this proposal.

FACTS & FINDINGS

1. Historic Designation

Under Salem Revised Code (SRC) Chapter 230, no development permit for a designated historic resource shall be issued without the approval of the Historic Landmarks Commission (HLC). The HLC shall approve, conditionally approve, or deny the application on the basis of the project's conformity with the criteria. Conditions of approval, if any, shall be limited to project modifications required to meet the applicable criteria.

According to SRC 230.020(f), historic design review approval shall be granted if the application satisfies the applicable standards set forth in Chapter 230. The HLC shall render its decision supported by findings that explain conformance or lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

2. Historic Significance

The Queen Anne William H. Byrd House was built by George Collins in 1887 originally at 197 Court and moved to its present location in 1906. The kitchen was added at this time (attached to the southern end of the rear façade). In 1927 the porch was added to the northern end of the kitchen. The resource is currently on Special Assessment through the Oregon State Historic Preservation Office and has a long-term preservation plan for the property in compliance with the requirements of this program. (**Attachment C**).

3. Neighborhood and Citizen Comments

The subject property is within the Northeast Neighbors (NEN) neighborhood association. Notification of the public hearing was sent to the neighborhood association, property owners within the Court-Chemeketa Historic District and surrounding property owners and tenants within 250 feet of the property pursuant to Salem Revised Code (SRC) requirements on February 26, 2021. Notice of public hearing was also posted on the subject property. At the time of writing this staff report, no comments have been received from the neighborhood association or from adjoining property owners.

4. City Department and Public Agency Comments

The Planning Division has indicated that the proposal meets the applicable requirements for screened parking in SRC 806.025. The Building and Safety Division indicates that the applicant must obtain required building permits. At the time of building permit review the applicant must submit complete construction drawings with loads calculated and methods of construction for lateral design detailed. The Public Works Department did not indicate any concerns with the proposal, however the applicant will be required to obtain any required permits for installation of the needed curb cut for the off-street parking area and driveway.

The Oregon State Historic Preservation Office has not provided any comments on the proposal which has been submitted for their review.

5. Historic Design Review

SRC Chapter 230.065 specifies the standards and guidelines applicable to this project. The applicant is proposing to add a parking area, new fencing and a gate and is proposing to rehabilitate the exterior of the kitchen and porch located at the rear of the William Byrd House (**Attachment B**). Historic Landmarks Commission staff reviewed the project proposal and has the following findings for the applicable guidelines.

FINDINGS

Criteria 230.065 General Guidelines for Historic Contributing Resources

(a) Except as otherwise provided in this Chapter, the property shall be used for its historic purpose, or for a similar purpose that will not alter street access, landscape design, entrance(s), height, footprint, fenestration, or massing.

Finding: The applicant is proposing to retain the original use of this property as a residence. While the proposal will result in the addition of a porch and the relocation of stairs on the north façade of the kitchen addition and an alteration of the landscape features by installing a parking area located at the rear of the site, the height, footprint and massing of the primary resource on the site will not be altered as a result of this proposal. Staff recommends that the HLC find that this guideline has been met.

(b) Historic materials, finishes and distinctive features shall, when possible, be preserved and repaired according to historic preservation methods, rather than restored.

Finding: The applicant is proposing to maintain the existing footprint and height of the kitchen and porch additions and is proposing to reuse original windows, doors and original siding in order to retain as much material as is feasible from the kitchen and porch additions as part of this proposal. The proposal will not impact the original 1887 portion of the Byrd House. Staff recommends that the HLC find that Guideline 230.065 (b) has been met.

(c) Distinctive stylistic features or examples of skilled craftsmanship significance shall be treated with sensitivity.

Finding: While no distinctive stylistic features or examples of skilled craftsmanship on the 1887 portion of the Byrd House are proposed for alteration, some original material will be lost from the kitchen and porch additions as a result of the proposed alterations. However, the applicant is proposing to reuse original windows and doors as well as reuse as much of the siding as feasible. Staff recommends that the HLC find that the proposal will not impact the original 1887 portion of the William Byrd House and that the reuse of original material within the kitchen and porch additions are treated with sensitivity and therefore staff recommends that the HLC find that Guideline 230.065 (c) has been met.

(d) Historic features shall be restored or reconstructed only when supported by physical or photographic evidence.

Finding: Staff recommends that the HLC find that the applicant is not proposing to restore or reconstruct any features based upon physical or photographic evidence and that Guideline 230.065 (d) is not applicable to the evaluation of this proposal.

(e) Changes that have taken place to a historic resource over the course of time are evidence of the history and development of a historic resource and its environment, and should be recognized and respected. These changes may have acquired significance in their own right, and this significance should be recognized and respected.

Finding: The applicant is proposing to alter the 1927 porch and 1906 kitchen which were added to the original 1887 Byrd House. While the applicant is proposing to enlarge window openings on the south and east facades and some of this original material will be lost from these additions which are changes to the original resource that are evidence of its history, the overall footprint will be retained and these alterations are primarily located on the rear and not visible facades of the resource minimizing the adverse effect as a result of these alterations. Additionally, the applicant is proposing to retain the original door and relocate the screen door from the eastern façade and two original windows to the north façade and retain and reuse as much original siding as is feasible. Staff recommends that the HLC find that SRC 230.065(e) has been met.

(f) Additions and alterations to a historic resource shall be designed and constructed to minimize changes to the historic resource.

Finding: The applicant is proposing to rehabilitate the kitchen and porch additions at the rear of the William Byrd House. These alterations will not impact the original 1887 portion of the resource. While some original material will be lost from the kitchen and porch additions as a result of the proposed alterations, the applicant is proposing to reuse original windows as well as reuse as much of the siding as feasible. Staff recommends that the HLC find that the proposal will not impact the original 1887 portion of the William Byrd House and that the overall building height and footprint will be retained, minimizing changes to this resource and meeting SRC 230.065(f).

(g) Additions and alterations shall be constructed with the least possible loss of historic materials and so that significant features are not obscured, damaged, or destroyed.

Finding: The applicant's proposed design is intended utilize materials already existing within the William Byrd House kitchen and porch additions (relocated/salvaged windows, relocated screen door and siding). While the proposed new windows within the kitchen on the south and east facades are significantly larger in scale than the existing windows, these proposed alterations are located at the rear of the resource minimizing any adverse effect to the original portion of the resource. The relocation of the stairs and the addition of a small porch and entry at the north facade are compatible with the features on this section of the house, and no significant features on the north facade are obscured by the proposed new design. Staff recommends that the HLC find that SRC 230.065(g) has been met.

(h) Structural deficiencies in a historic resource shall be corrected without visually changing the composition, design, texture or other visual qualities.

Finding: The applicant's proposal is intended to correct the structural deficiencies at this section of the house. Additional work is proposed to secure the foundation underneath this portion of resource, ensuring that the structure remains stable. Staff recommends that the HLC find that Guideline 230.065 (h) has been met for this proposal.

(i) Excavation or re-grading shall not be allowed adjacent to or within the site of a historic resource which could cause the foundation to settle, shift, or fail, or have a similar effect on adjacent historic resources.

Finding: While the proposal will include a minimal amount of excavation and grading as part of the installation of the new parking area, the proposed work will not occur directly adjacent to the resource and does not have the potential to adversely affect the integrity of its foundation. Staff recommends that the HLC find that Guideline 230.065 (i) has been met.

RECOMMENDATION

Based upon the information presented in the application, plans submitted for review, and findings as presented in this staff report, staff recommends that the Historic Landmarks Commission **APPROVE** the proposal.

DECISION ALTERNATIVES

1. APPROVE the proposal as submitted by the applicant and indicated on the drawings.
2. APPROVE the proposal with conditions to satisfy specific guideline(s).
3. DENY the proposal based on noncompliance with identified guidelines in SRC 230, indicating which guideline(s) is not met and the reason(s) the guideline is not met.








Attachments: A. Vicinity Map
B. Applicant's Submittal Materials
C. Excerpt from National Register Historic Resource Document

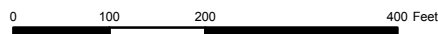
Prepared by Kimberli Fitzgerald, AICP, Historic Preservation Officer

Vicinity Map 296 14th St NE



Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



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Historic Alteration Review Worksheet

Site Address: _____

Resource Status: Contributing Non- Contributing Individual Landmark Type of Work Activity Proposed: Major Minor Chose One: Commercial District Individual Resource Public District
Residential District Sign **Replacement, Alteration, Restoration or Addition of:****Architectural Feature:**

- Awning
- Door
- Exterior Trim, Lintel
- Other architectural feature _____
- Roof/Cornice
- Masonry/Siding
- Storefront
- Window(s) Number of windows: _____

Landscape Feature:

- Fence
- Streetscape
- Other Site feature (describe) _____

New:

- Addition
- Accessory Structure
- Sign
- Mural
- Accessibility Ramp
- Energy Improvements
- Mechanical Equipment
- Primary Structure

Will the proposed alteration be visible from any public right-of-way? Yes No

Project's Existing Material: _____ Project's New Material: _____

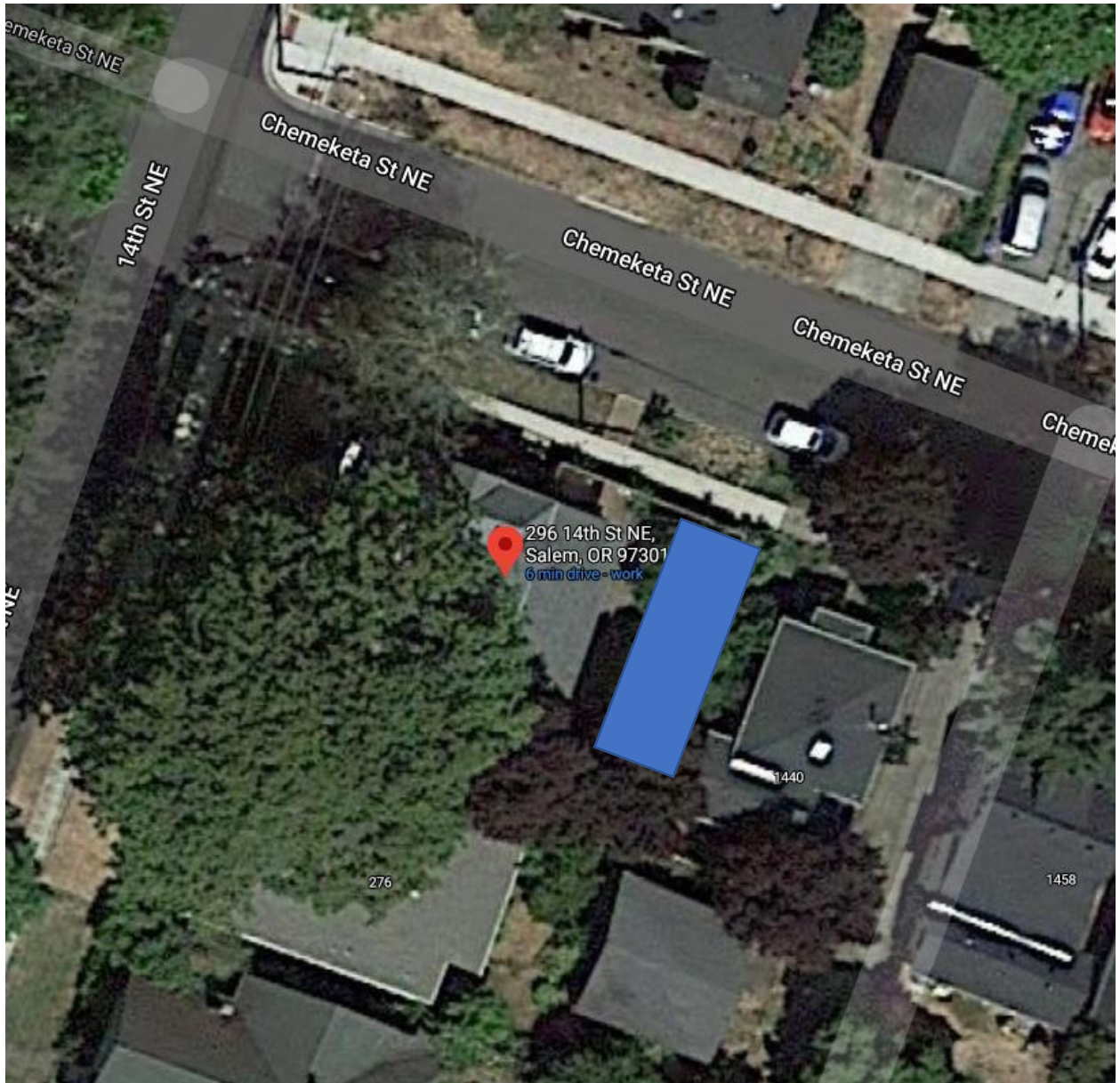
Project Description

Briefly provide an overview of the type of work proposed. Describe how it meets the applicable design criteria in SRC Chapter 230. Please attach any additional information (i.e., product specification sheets) that will help staff and the HLC clearly understand the proposed work:

 Connie Strong

Signature of Applicant

Date Submitted/Signed



296 14th St. NE

Proposed driveway location

Fence Specifications for 296 14th Street NE

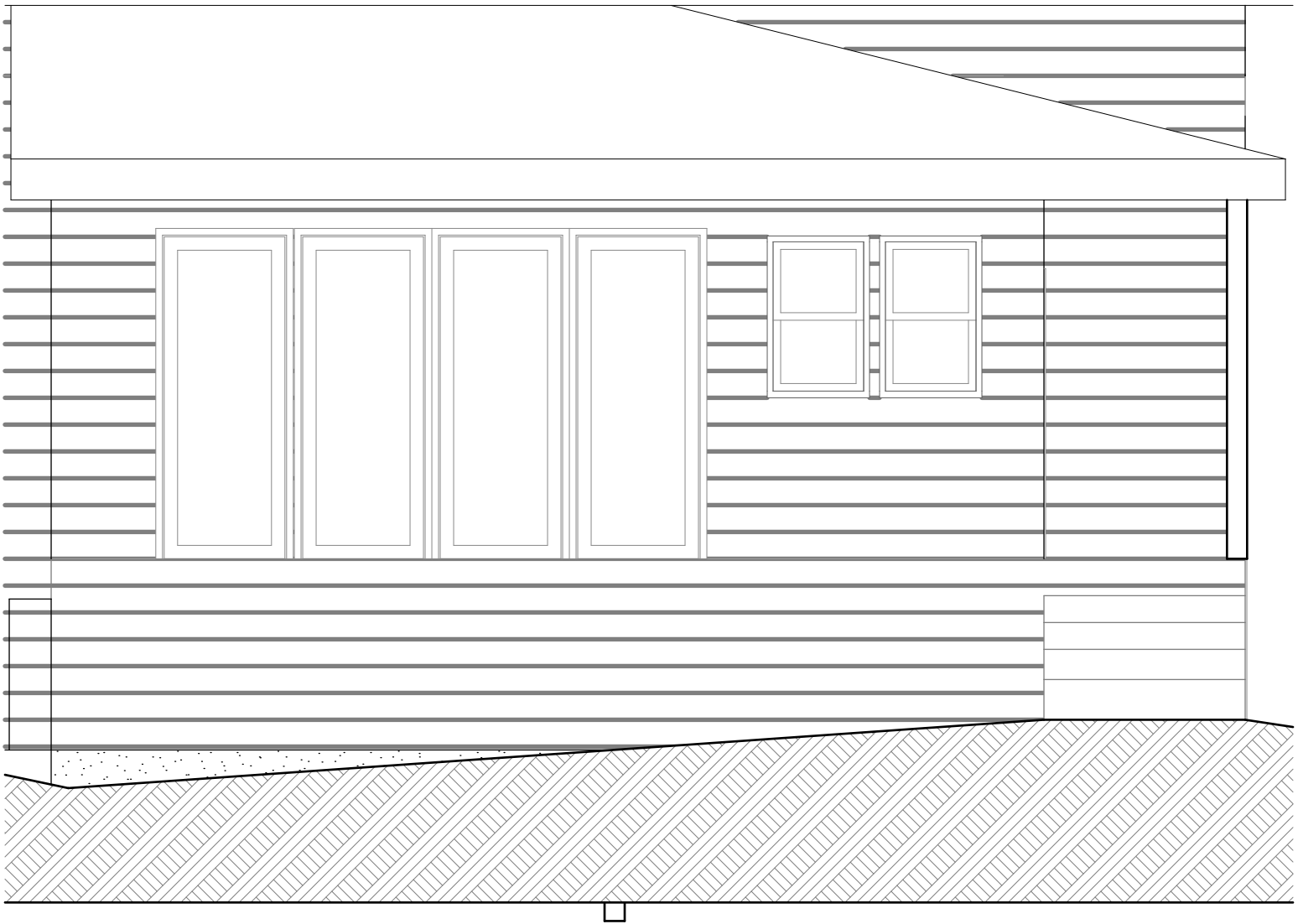
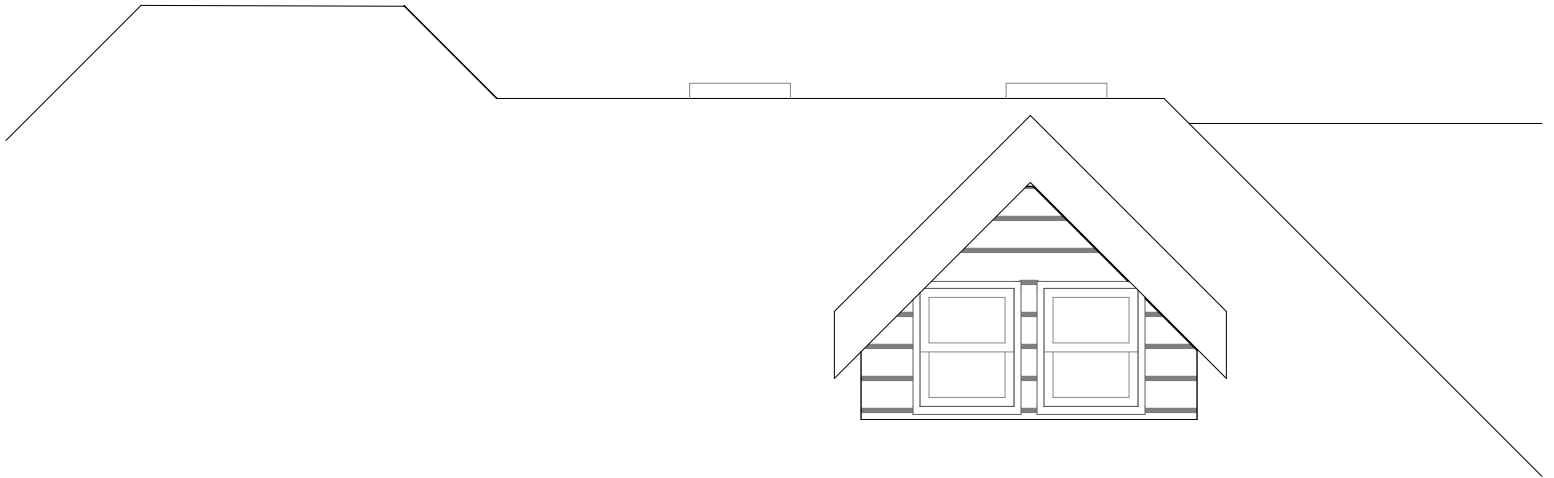
The fence panels are 6 x 8 feet, interchangeable, and can be cut to any width. Instead of two 8 foot panels as we have it set up now, we would simply cut one full panel into two parts, centered on the driveway, with narrower panels on either side. This adds two posts where shown in orange. The hardware is similar to the existing person gate, shown below.



Inside view of hardware.

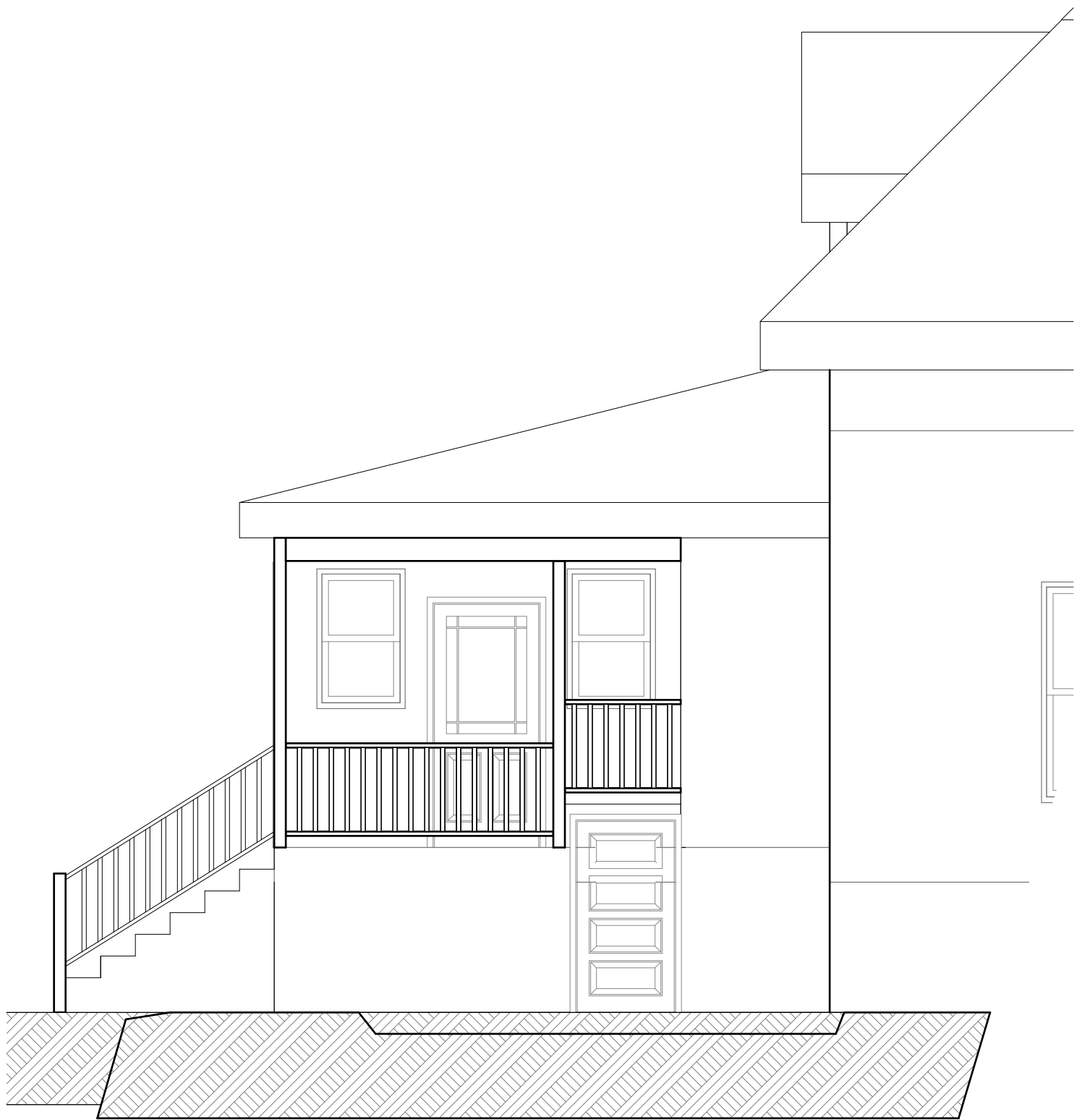
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EAST ELEVATION
EXISTING





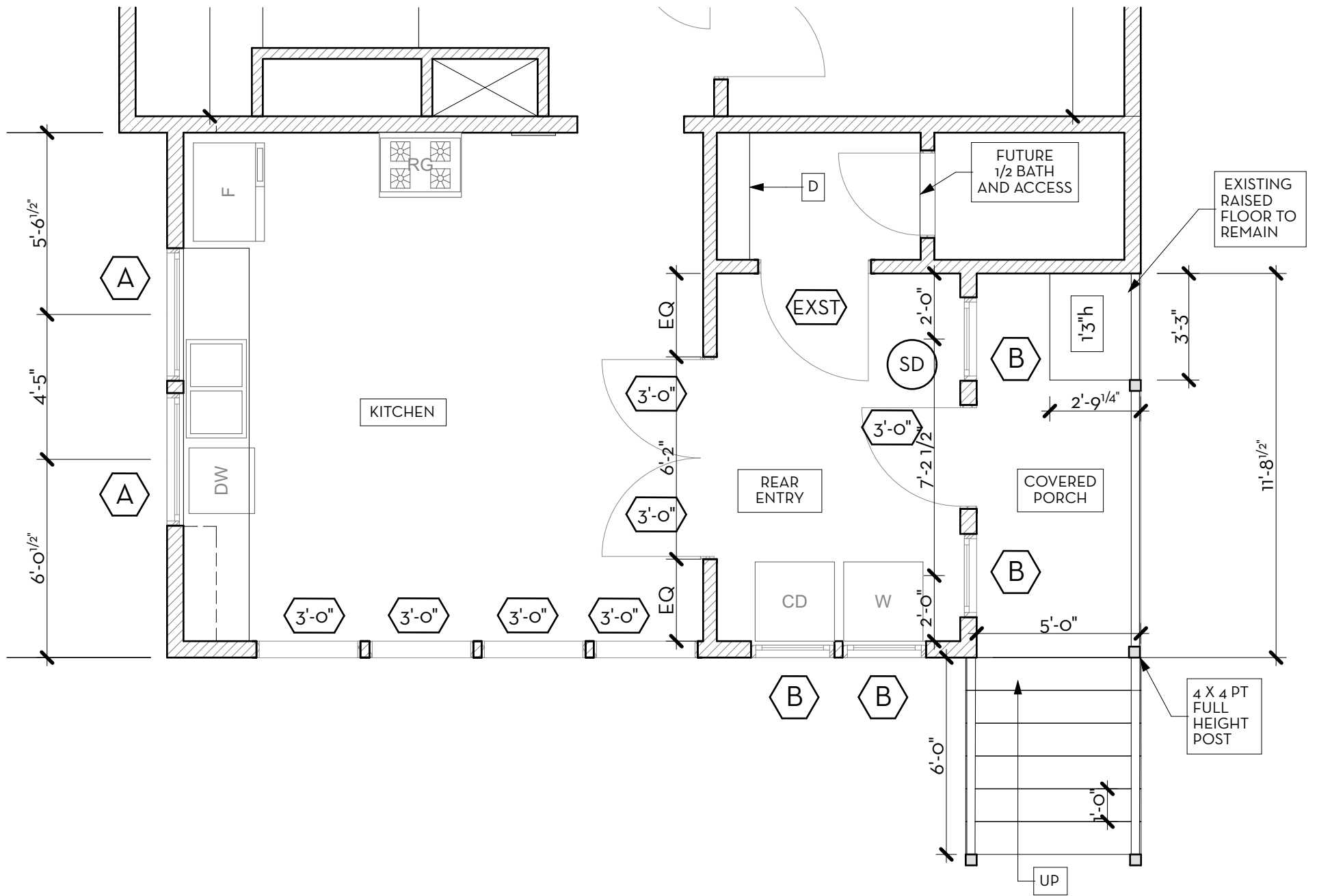
5
A-101

North Elevation
SCALE: 1/4" = 1'-0"

Chemeketa Street

NORTH ELEVATION
EXISTING





6
A-101

Second Floor Plan - Existing
SCALE: 1/4" = 1'-0"

**REAR KITCHEN REMODEL
ROOF STRUCTURE TO REMAIN
FLOOR SYSTEM TO REMAIN EXCEPT
FOR ENTRY NORTH DECK
STRUCTURAL CALCULATIONS**

**FOR HOUSE
LOCATED AT
296 14TH STREET NE
SALEM, OREGON 97301**



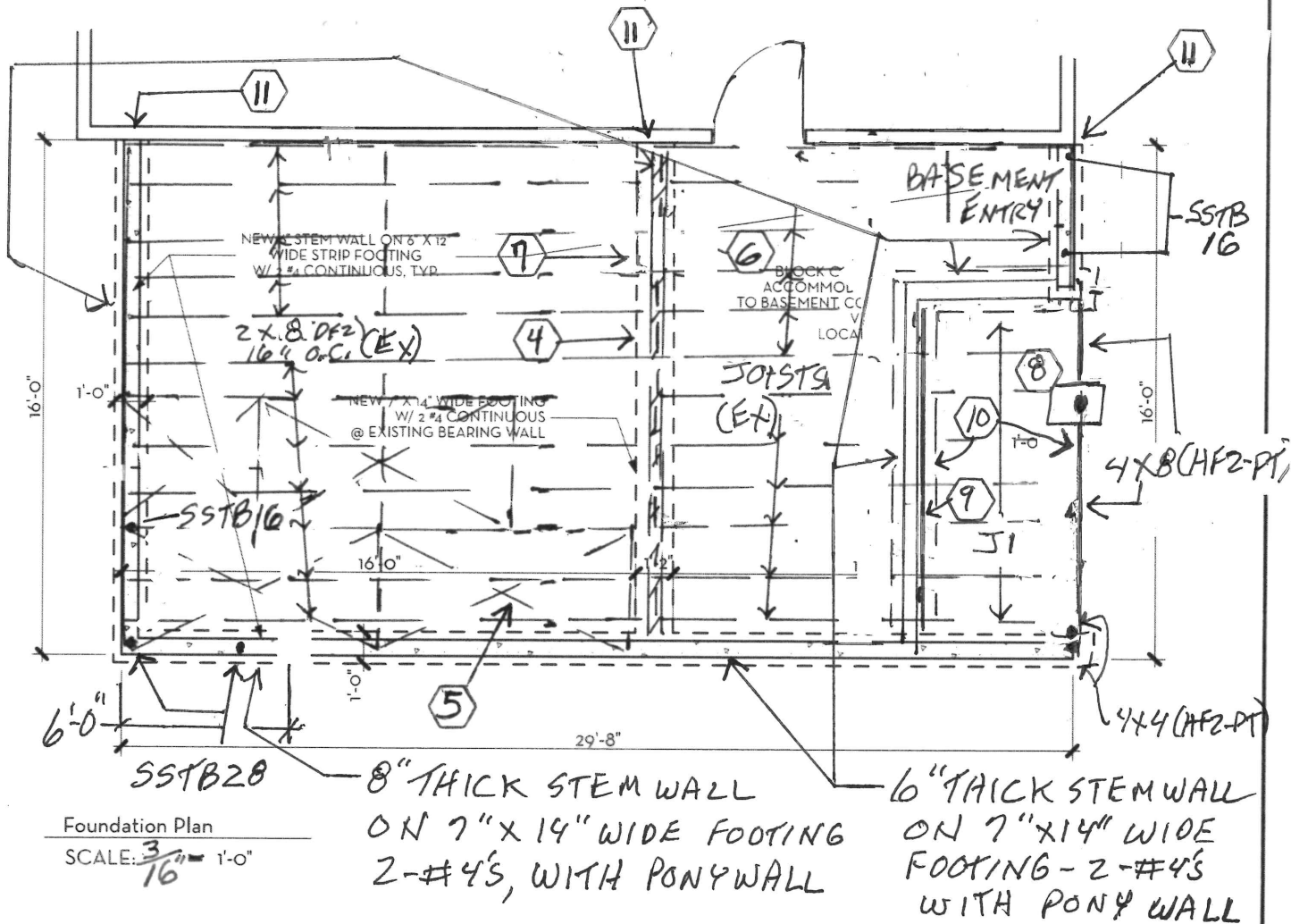
PAGES NOT COUNTING COVER SHEET

******LIMITATIONS******

**NO RESPONSIBILITY AND/OR LIABILITY IS ASSUMED BY,
OR IS TO BE ASSIGNED TO THE ENGINEER FOR ITEMS
BEYOND THAT SHOWN ON THESE SHEETS.**

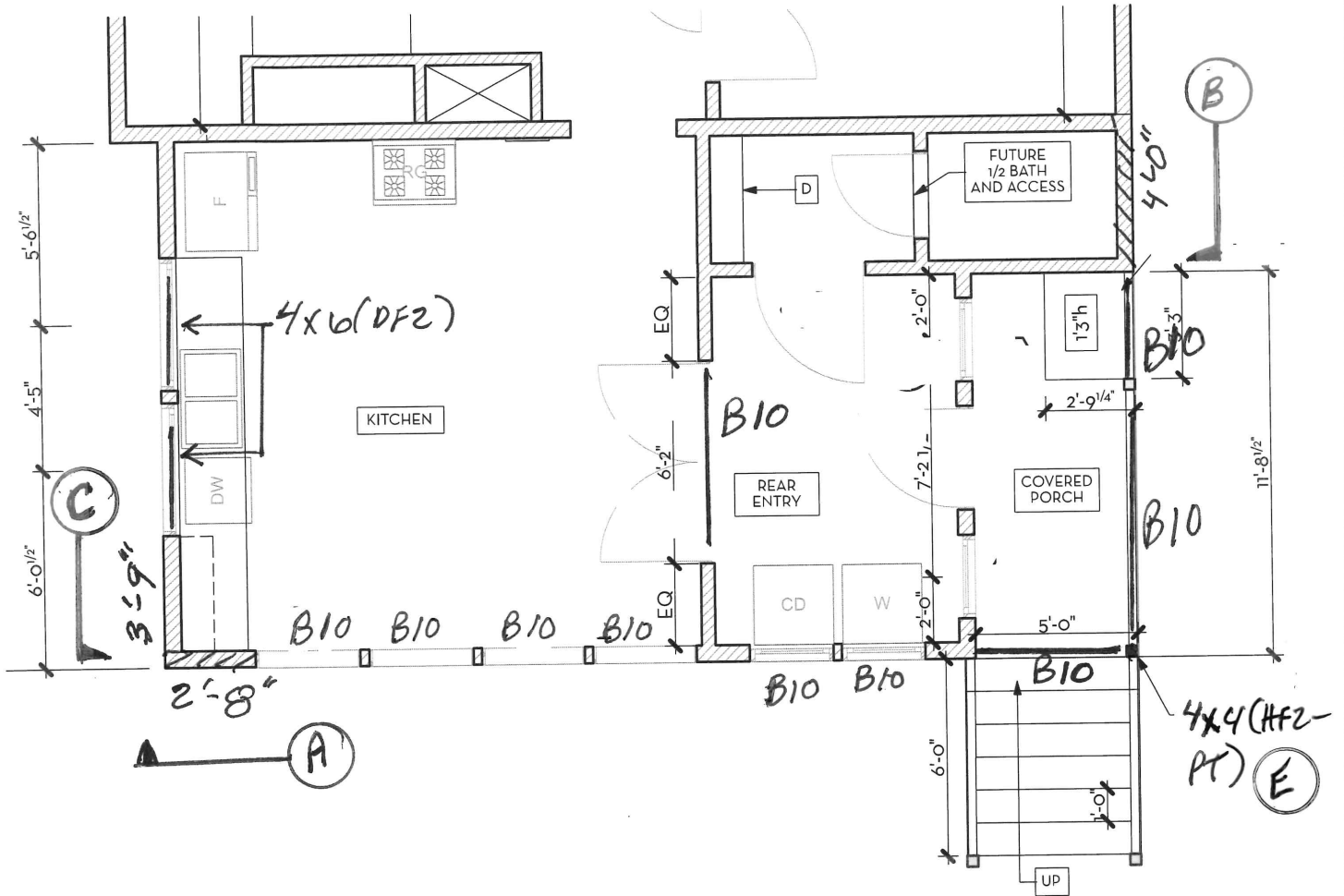
**JOB NO. 2020-105
OCTOBER 21, 2020**

**PREPARED BY
GERALD P. HORNER, PE**



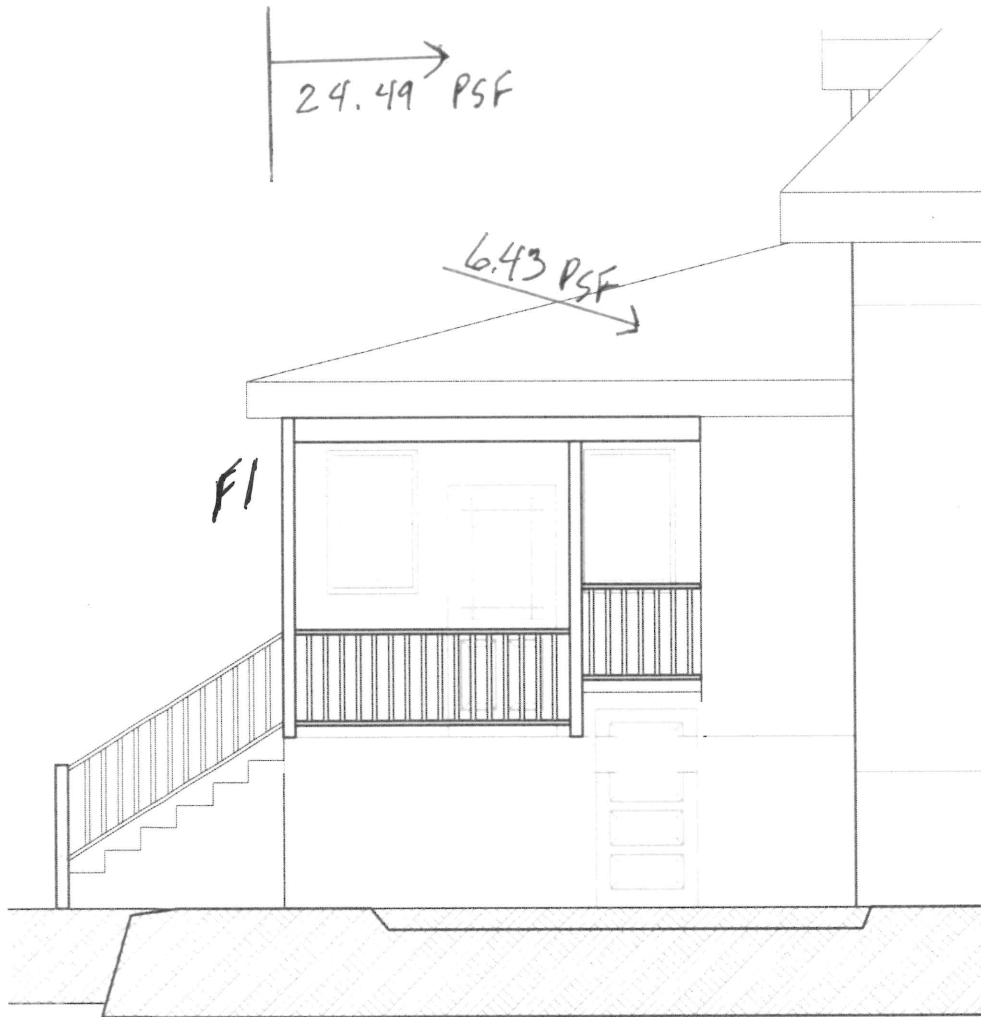
**296 SE 14TH REAR PORCH REMODEL
 FOUNDATION NOTES:**

1. DESIGN BASED ON 1500 SOIL BEARING CAPACITY.
2. CONCRETE - 3000 PSI COMPRESSIVE STRENGTH.
3. REINFORCING STEEL - 60,000 PSI TENSILE STRENGTH.
4. 2 x 4 (DF2) PONY WALL. 2x4 (HF#2-PRESSURE TREATED) SILL AND 2 x 4 STUDS 16" ON CENTER AND DOUBLE TOP PLATES (DF).
5. FLOOR SHEATHING - EXISTING.
6. 4 x 4 (HF2-PT) POST.
7. 6" THICK X 14" STRIP FOOTING - 2 #4'S
8. 15" THICK X 20" SQUARE FOOTING WITH 4x4 (HF2-PT) POST.
9. 2x8 (HF2-PT) RIM WITH 2- LEDGER LOK 32" ON CENTER.
- J1 - 2x6 (HF2-PT) JOIST 16" O.C.
10. SIMPSON "LUS 26-ZMAX" JOIST.
11. 4- #4 DOWELS SET IN 3" SIMPSON "SET-XP" EPOXY TO EXISTING FOUNDATION.



Second Floor Plan - Exi
 SCALE: 3/16" = 1'-0"

B10 - 4x8(DF2)



5 North Elevation
 A-101 SCALE:

SC: 3/16" = 1'-0"

KITCHEN PORCH SIDE ELEVATION
3 SIDED STRUCTURE

$1837 \text{ LB} / 2.67 = 688 \text{ PLF}$
 15/32" - 10DS - 3" o.c.
 64

$$F1 = 24.49 \text{ PSF} (4') (16') + 4' (6.43 \text{ PSF}) (8') + .5 (5') (6.43 \text{ PSF}) (4')$$

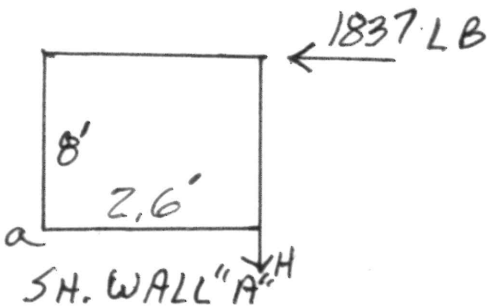
 $= 1837$

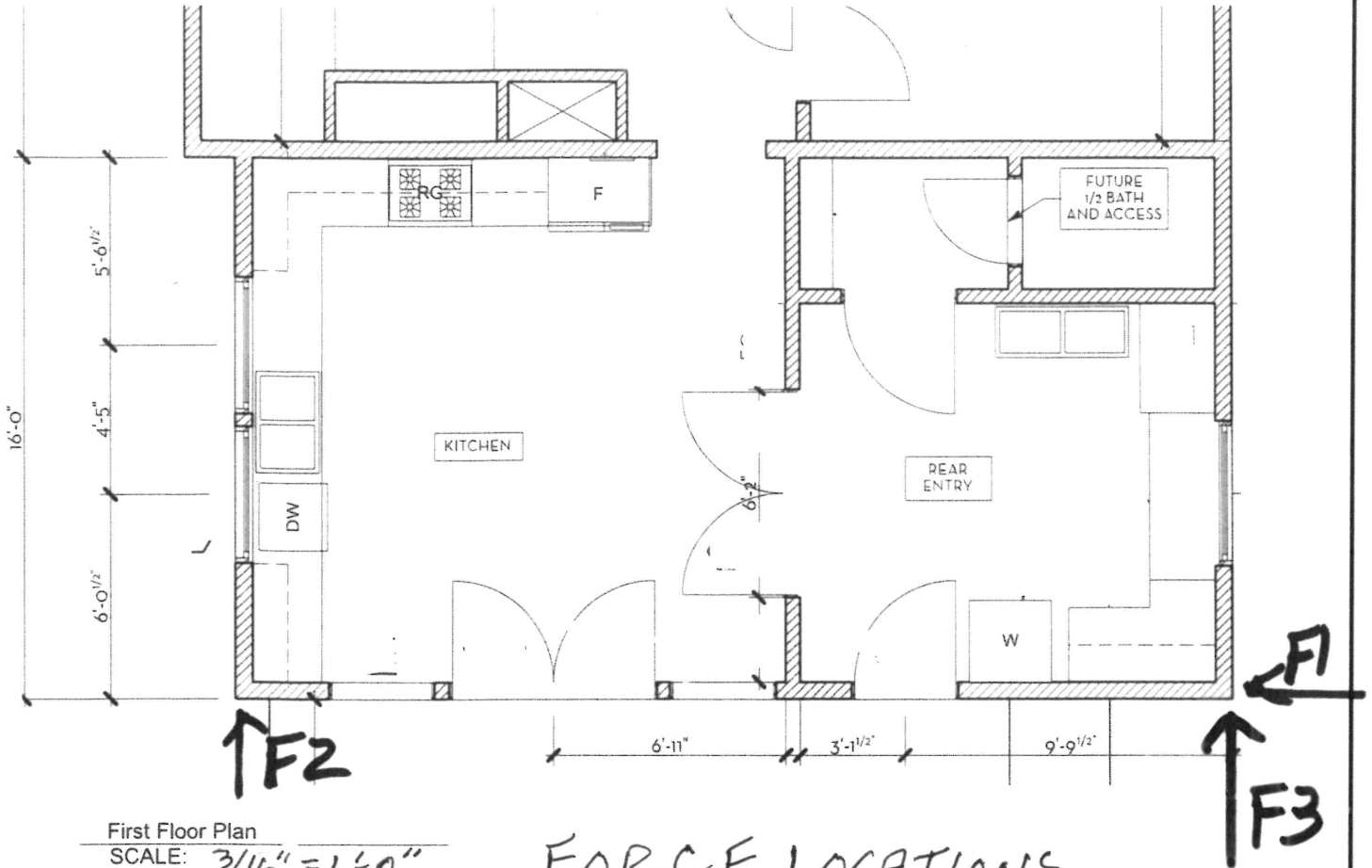
$$\Sigma M_a = 1837 \text{ LB} (8') - H (2.6')$$

$$\text{WALL } .6 (8') (2.6) (15 \text{ PSF}) (4') - \text{4' END WALL } .6 (8') (4') (2.6) (15 \text{ PSF})$$

$$H = 5076$$

USE HDU8 WITH SSTB28





FORCE LOCATIONS
3 SIDED STRUCTURE

COMPARE F1 (WIND) - 1837 LB TO SEISMIC

WEIGHT

ROOF - 32' (17') (17 PSF) = 9248 LB

WALLS - 4' (88') (15 PSF) = 5280 LB

TOTAL 14528 LB

$F_p = \frac{14528 \text{ LB} (1.0) (1.0) (0.736)}{R = 6.5} = 1645 \text{ LB}$

$E = 0.7 (1645 \text{ LB}) = 1151 \text{ LB} < 1837 \text{ LB}$ WIND GOVERNS

296 14th Street Porch and Kitchen: North Windows and Door

Original double hung windows on kitchen will be relocated to the North (Chemeketa) side. They currently measure approximately 28 x 44 inches and 27 x 40 inches. Installation and framing will affect final dimensions. If the existing door is unsafe, I have a sturdier alternative, lower right, that fits the opening.



296 14th Street Porch and Kitchen: East Windows and Doors

Two double-hung divided lite wood windows

Four single lite stile and rail wood door slabs 30 x 80 (can trim)



296 14th Street Porch and Kitchen: South Window (not visible)

Fixed wood window 50 wide by 77 tall, to replace the existing 27x40 window



Kimberli Fitzgerald

From: SEARS Joy * OPRD <Joy.Sears@oregon.gov>
Sent: Tuesday, May 09, 2017 3:09 PM
To: Kimberli Fitzgerald
Subject: Comments on proposed work to the Byrd House, 296 NE 14th St, Salem OR

Hello Kimberli,

The William Byrd House at 296 NE 14th St, Salem is listed on the National Register of Historic Places as a historic, contributing resource of the Court Street-Chemeketa Street Historic District and is currently taking advantage of the Special Assessment Property Tax program for historic properties. In general, the proposal meets the Secretary of the Interior's Standards for Rehabilitation and meets approval. One aspect of the project that was an item of discussion was the proposed removal of the decorative but utilitarian brick chimney located towards the front of the house that was failing. The chimney was proposed for removal because it became a life/safety issue and the interior support for the chimney is being removed due to advanced deterioration from top to bottom. While the chimney is readily visible from the public right of way, the proposed removal is recommended for approval since the much larger, primary decorative chimney connected to the historic fireplace is being repaired and retained in this case.

Please contact me with any problems or concerns about this project.

Sincerely,
Joy

Joy Sears

Restoration Specialist

Oregon State Historic Preservation Office (SHPO)
725 Summer Street NE, Suite C
Salem OR 97301

Phone 503-986-0688
Fax 503-986-0794

Email: Joy.Sears@oregon.gov

Website: www.oregonheritage.org

"it is better to preserve than to restore and better to restore than to reconstruct"

- A.N. Didron 1839

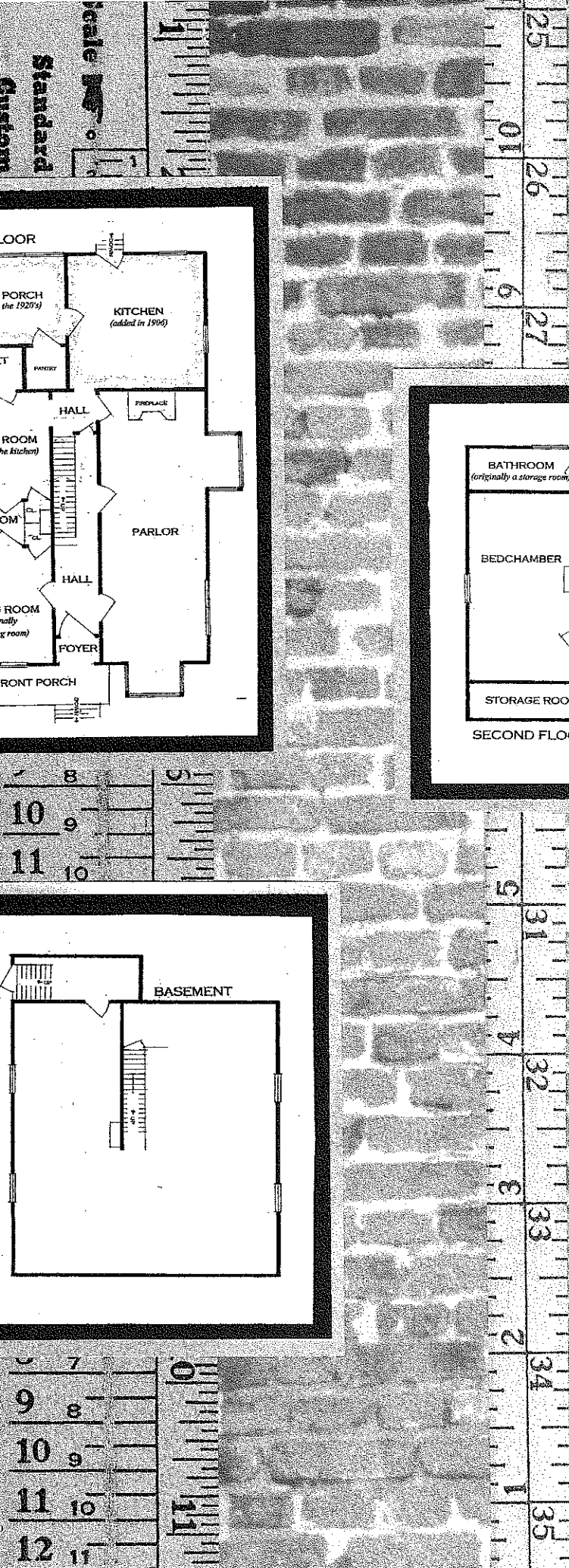
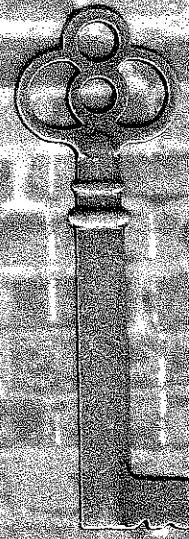
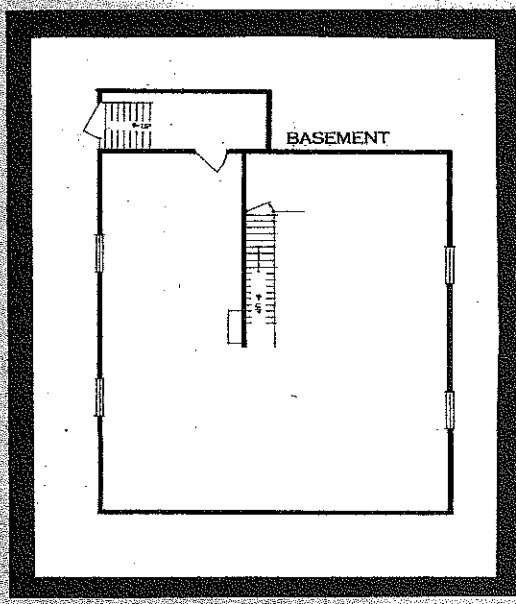
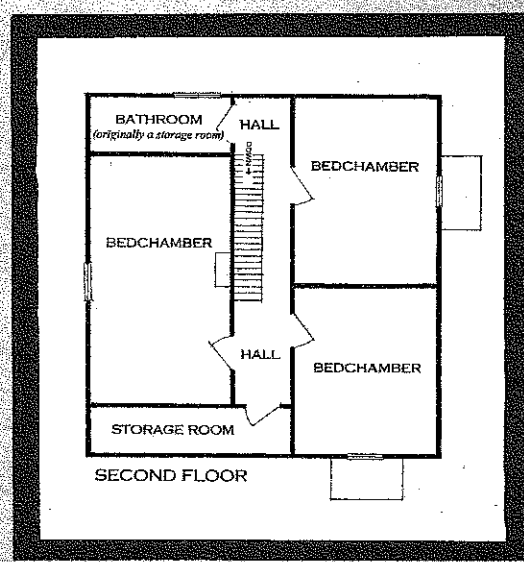
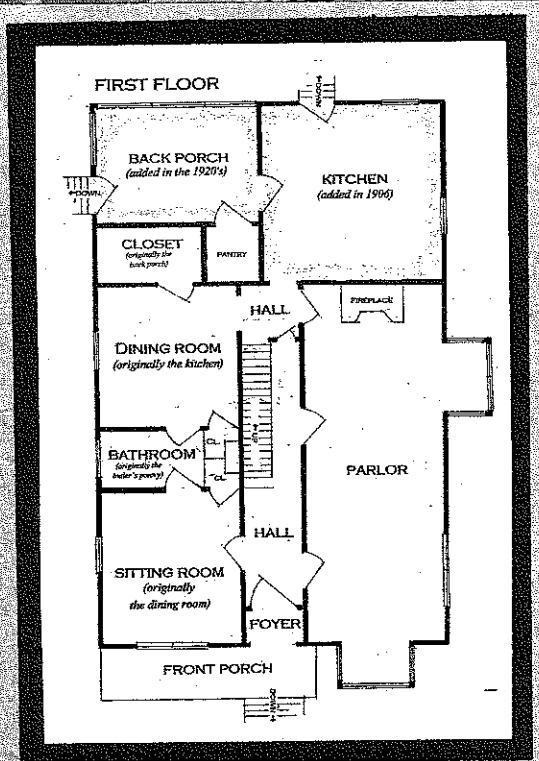
132. WILLIAM H. BYRD HOUSE (1887) PRIMARY (Contributing)
 296 14th Street NE; Assessor's Map 26BA073W; 073W-26BA-08800; Tax Lot 1-86010-100
 Owner: Martha M. Byrd Blau, 296 14th Street NE, Salem, Oregon 97301

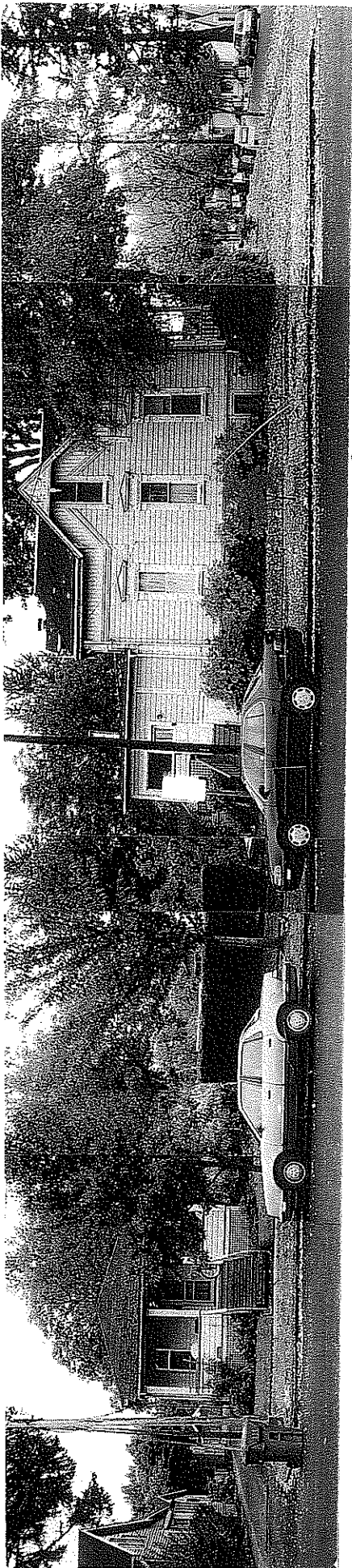
Description: This Queen Anne/Eastlake style house was built in 1887 at 197 Court (northwest corner of Court and Church) and moved to its present site, the southwest corner of 14th and Chemeketa Streets, in 1906 (Oregon Statesman, Jan. 1, 1907, p. 7). The cost of moving and "enlarging" the residence was \$750, according to the Statesman. It is a one-and-one-half-story structure with most of its Queen Anne/Eastlake details and patterns intact. The complex roof line incorporates a flat-topped, hipped roof that rises to a hipped peak toward the south and gives way to a front-facing (west) gabled bay and side-facing gables on the north and south. The south gable is capped with a hip. Two elaborate brick interior chimneys add to the variety of roof forms. In addition, the house originally had extensive roof cresting, now limited to the porch roof. Elaborate decorative woodwork ornaments the gables, windows (capped by finely carved pediments), and indeed most of the wall surfaces: the horizontal shiplap is varied with vertical boarding along the upper walls above the windows. An attached three-bay porch with a dropped roof faces west at the north corner. It is balustraded and columned with turned supports, with the columns bracketed at the top. The oriel windows on the south and west originally were crowned with balustraded second-story porches, now removed. There is a one-story shed addition at the rear.

Cultural Data: The house was built by George Collins and bought a few years later by Dr. William H. Byrd. He had been born in Marion County in 1854, the oldest of eight children of Lorenzo A. and Martha (Savage) Byrd. Lorenzo Byrd crossed the plains in 1846 and settled on a donation land claim in the Waldo Hills. The homestead was purchased in 1850 by Dr. John Savage, who came to Oregon in 1850. His daughter, Martha, married Lorenzo Byrd in 1854.

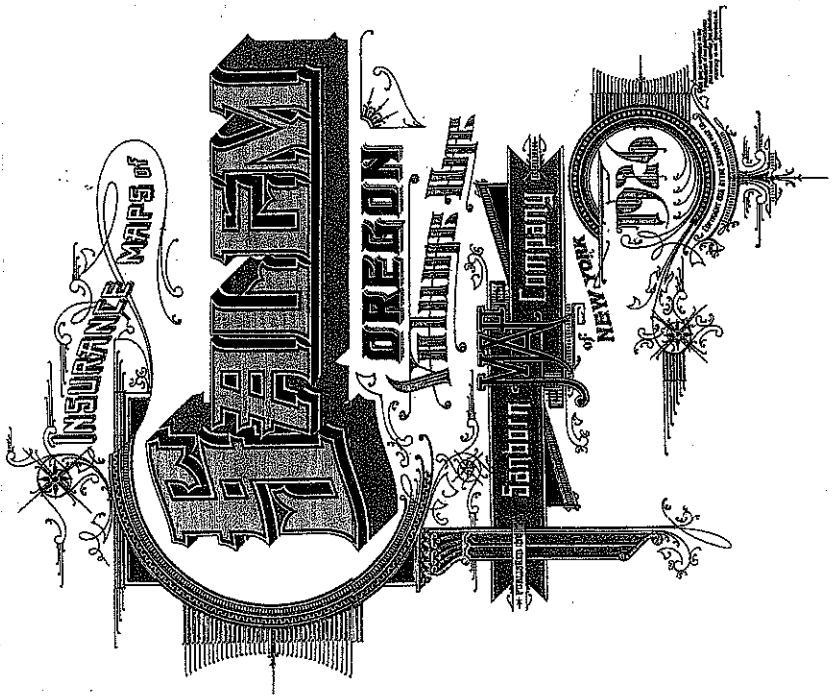
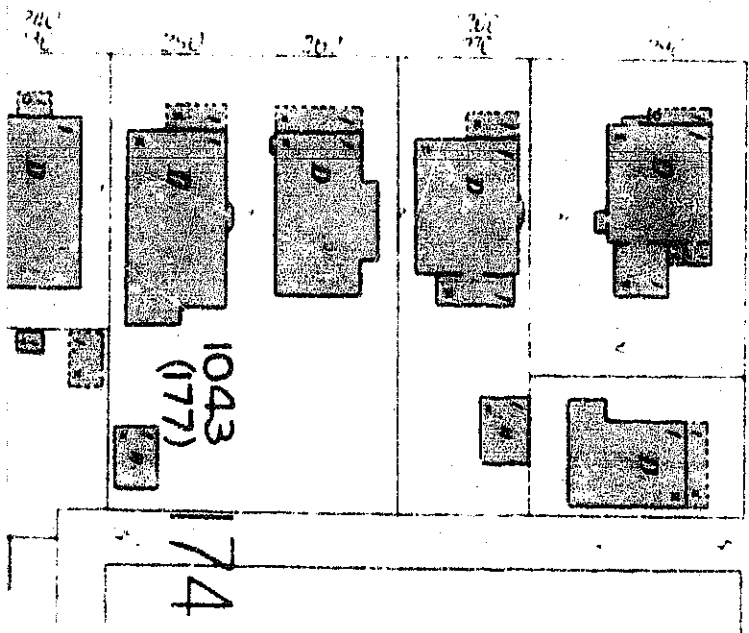
Their son attended local schools, read medicine under the supervision of Salem doctors, studied medicine in San Francisco, and earned his M.D. at the Willamette University medical school in 1881. He practiced in Salem for nearly 50 years. He married Theresa Holderness of Salem in 1882, and they had a daughter, Winnifred, who became a prominent musician. After Mrs. Byrd's death, Dr. Byrd married Margaret Marcum in 1890 and had two sons, Clarence and Donald (Clarke, vol. 2, pp. 200-201; Hines, pp. 528-529, and Lockley, Oregon Journal, August 11, 1926). Dr. Byrd purchased the lot on which this house stands in Watts Addition in 1905 (cf. commentary on #131) and moved the house to this site the next year. He bought adjoining lots to the south in the next few years and built three Craftsman Bungalows now located there in about 1910 (cf. commentary on #133-135). He seems not to have lived in #132 after he moved it. It was given as a wedding gift to Clarence in 1921 and is still lived in by Clarence's daughter, Martha Byrd Blau. Dr. Byrd died in 1929 (obituaries, Capital Journal, Feb. 4, 1929, pp. 1 and 11, and Oregon Statesman, Feb. 5, 1929)

Standard Custom

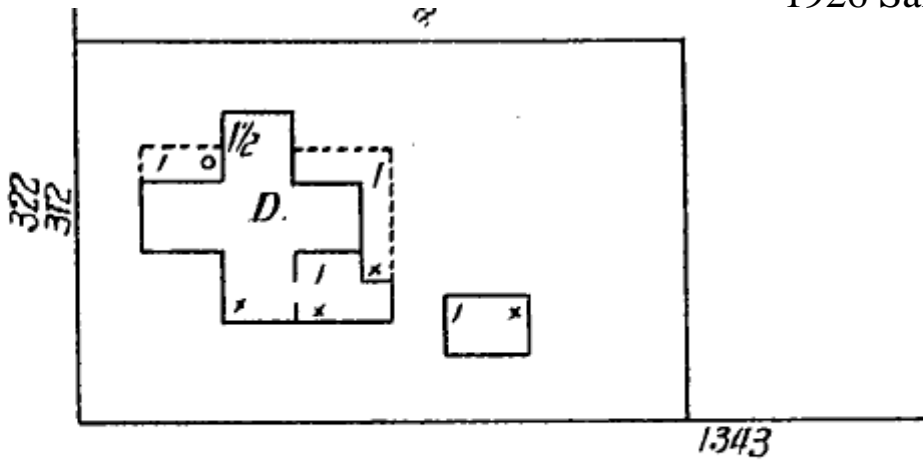




N. 14TH ST.



322
312



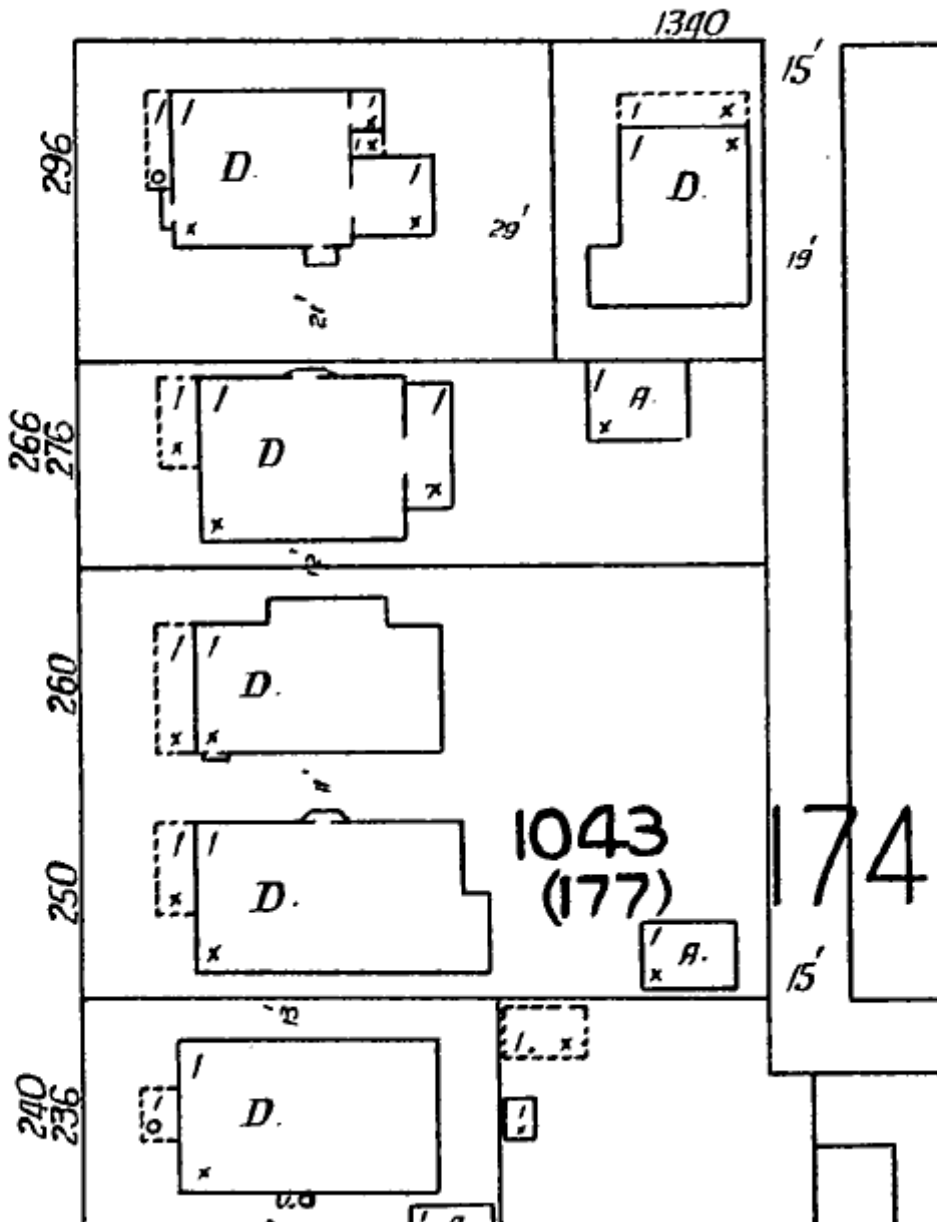
62

1' 60" 1" W. PIPE

1" W. PIPE 80'

291

N. 14TH ST.



296

266
276

260

250

240
236

1340

29'

15'

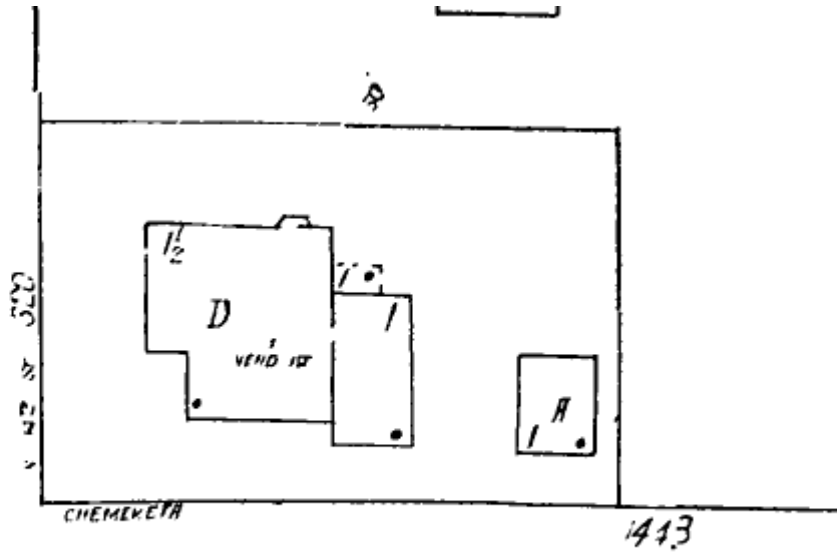
19'

1043
(177)

74

15'

307



(62)

1" W. PIPE

1" W. PIPE

603

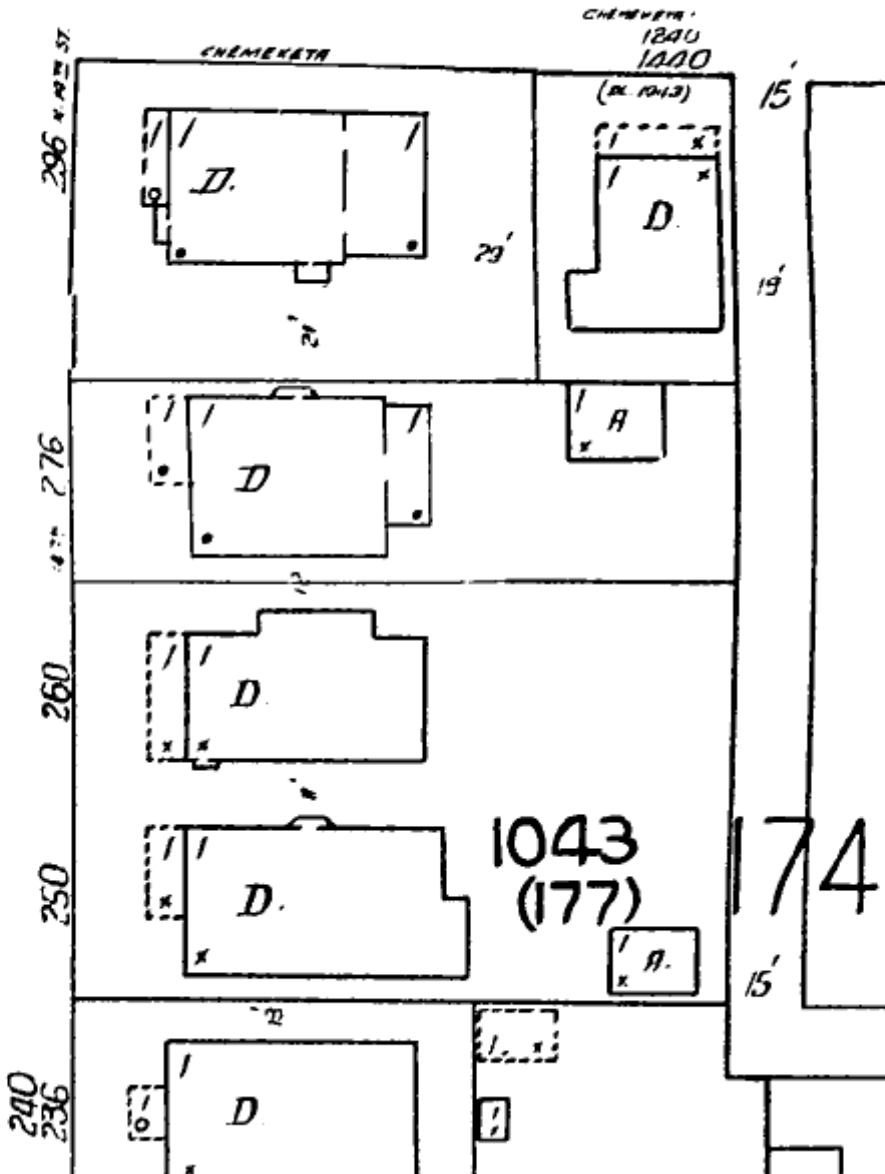
612

623

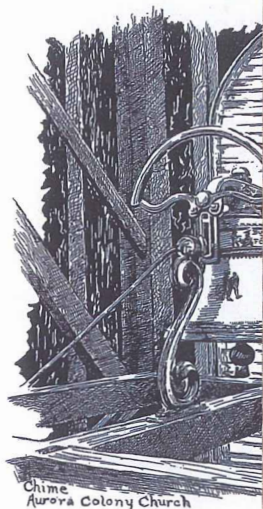
633

643

N. 14TH ST.



Marion County HISTORY



ARION COUNTY HISTOR

CLARENCE BYRD HOUSE, SALEM

Described by Martha Byrd Blau

Owner: Martha Byrd Blau

Date of Construction: 1887

The house was built in 1887 by George Collins on the N.W. corner of Court and Church Streets, across Court St. from the Old Court House. Dr. William Henry Byrd, a well known Salem physician bought the house a few years later as a home for his family, consisting of his wife, Margaret Macrum, daughter Winifred, and sons, Clarence and Donald. About 1910, the house was moved to its present location on the S.E. corner of 14th and Chemeketa Sts. Dr. Byrd built a larger house on Court St. which was also moved in the 30's to make room for the Standard Oil station. In 1921, Dr. Byrd gave this house to his son Clarence as a wedding gift, and Clarence remained in possession until his death in 1975, living in it until the last months of his life. His daughter Martha, is the present owner and the compiler of this information.

Dr. W. H. Byrd was one of the sons of Oregon pioneer, Lorenza A. Byrd, who settled on a land grant farm at Fairfield,

a once flourishing river port north of Salem.

The house is of wood construction, originally on a brick foundation-now wood. There was a decorative iron grillwork on top of the roof gables. The metal roofed bay windows had wooden railings, matching those on the front porch and down the steps. As far as anyone remembers, it has always been painted an off-white or cream color. The woodwork inside the house as well as the very solid and wide front door is a beautiful combination of redwood or cedar with two woods of a lighter shade.

The bedroom doors upstairs, are prime examples of the art of painting wood graining. The unusual mantel of the living room fireplace is paint over metal to resemble marble and is embellished with painted flower stencil designs. The floors are 3½" wide fir planking. There are three ornate plaster ceiling medallions, two in the living room and one in the downstairs front bedroom. The wood-lift at the rear of the front hall was removed to make a passageway from doorway to kitchen, which with back porch, was added in the 1920's. There are some other alterations but the best original features have been preserved.

