

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
FAX: 503-588-6005



*Si necesita ayuda para comprender esta informacion, por favor llame
503-588-6173*

DECISION OF THE HISTORIC PRESERVATION OFFICER

MINOR HISTORIC DESIGN REVIEW CASE NO.: HIS22-20

APPLICATION NO.: 22-112316-DR

NOTICE OF DECISION DATE: June 21, 2022

SUMMARY: A proposal to repair the wall and clean and repaint the mural on the east facade of the Elsinore Theatre (1926).

REQUEST: A Class 1 Minor Historic Design Review of a proposal to repair the wall and clean and repaint the mural on the east facade of the Elsinore Theatre (1926), a historic contributing building in Salem's Downtown Historic District, zoned CB (Central Business District), and located at 170 High Street SE; 97301; Marion County Assessor's Map and Tax Lot number: 073W27AB02100.

APPLICANT: Tom Fohn on behalf of the Elsinore Theatre

LOCATION: 170 High St SE, Salem OR 97301

CRITERIA: Salem Revised Code (SRC) Chapter 230.040(a) - Masonry

FINDINGS: The findings are in the attached Decision dated June 21, 2022.

DECISION: The **Historic Preservation Officer (a Planning Administrator designee)** **APPROVED** Minor Historic Design Review Case No. HIS22-20 based upon the application materials deemed complete on June 21, 2022 and the findings as presented in this report.

The rights granted by the attached decision must be exercised, or an extension granted, by June 22, 2024, or this approval shall be null and void.

Application Deemed Complete:	<u>June 21, 2022</u>
Notice of Decision Mailing Date:	<u>June 21, 2022</u>
Decision Effective Date:	<u>June 22, 2022</u>
State Mandate Date:	<u>October 19, 2022</u>

Case Manager: Kimberli Fitzgerald, kfitzgerald@cityofsalem.net, 503-540-2397

This decision is final.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review by contacting the case manager, or at the Planning Desk in the Permit Application Center, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>

***Si necesita ayuda para comprender esta informacion, por favor llame
503-588-6173***

BEFORE THE PLANNING ADMINISTRATOR OF THE CITY OF SALEM

DECISION

**IN THE MATTER OF APPROVAL OF) MINOR HISTORIC DESIGN REVIEW
HISTORIC DESIGN REVIEW)
CASE NO. HIS22-20)
170 HIGH STREET SE) June 21, 2022**

In the matter of the application for a Minor Historic Design Review submitted by Tom Fohn on behalf of the Elsinore Theatre, the Historic Preservation Officer (a Planning Administrator Designee), having received and reviewed evidence and the application materials, makes the following findings and adopts the following order as set forth herein.

REQUEST

SUMMARY: A proposal to repair the wall and clean and repaint the mural on the east facade of the Elsinore Theatre (1926).

REQUEST: A Class 1 Minor Historic Design Review of a proposal to repair the wall and clean and repaint the mural on the east facade of the Elsinore Theatre (1926), a historic contributing building in Salem's Downtown Historic District, zoned CB (Central Business District), and located at 170 High Street SE; 97301; Marion County Assessor's Map and Tax Lot number: 073W27AB02100.

A vicinity map illustrating the location of the property is attached hereto, and made a part of this decision (**Attachment A**).

FINDINGS

Minor Historic Design Review Applicability

SRC230.020(f) requires Historic Design Review approval for any alterations to historic resources as those terms and procedures are defined in SRC 230. The Planning Administrator shall render a decision supported by findings that explain conformance or lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

PROPOSAL

The applicant is proposing to repair the wall and clean and repaint the mural on the east facade of the Elsinore Theatre (1926). Specifically, the applicant is proposing to repair three areas of the wall where the paint has not adhered well. The applicant will remove these portions of the wall and stainless steel all thread hangers will be installed into the substrate to help allow the patching compound to adhere properly. The surface will then be patched to match the finish of the existing wall, which will then be repainted. The metal exterior doors on this facade will be scraped, sanded, primed and repainted. The existing masonry will be washed to remove dirt, biological growth and loose paint flakes. Any cracks or holes will be filled with caulking and repainted. Once these repairs have been completed, the mural will be painted and covered with two applications of clear coat.

SUMMARY OF RECORD

The following items are submitted to the record and are available upon request: All materials submitted by the applicant, including any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports; any materials and comments from public agencies, City departments, neighborhood associations, and the public; and all documents referenced in this report. All application materials are available on the City's online Permit Application Center at <https://permits.cityofsalem.net>. You may use the search function without registering and enter the permit number listed here: 22 112316 DR.

APPLICANT'S STATEMENT

A request for historic design review must be supported by proof that it conforms to all applicable criteria imposed by the Salem Revised Code. An excerpt of the applicants proposal is included as **Attachment B** in this staff report.

FACTS & FINDINGS

1. Historic Designation

Under Salem Revised Code (SRC) Chapter 230, no exterior portion of a local historic resource, contributing, non-contributing building or new construction in a historic district shall be erected, altered, restored, moved or demolished until historic design review approval has been granted on the basis of the project's conformity with the applicable criteria in SRC 230. Conditions of approval, if any, shall be limited to project modifications required to meet the applicable criteria.

According to SRC 230.020(f), historic design review approval shall be granted if the application satisfies the applicable standards set forth in Chapter 230. For Class 1 and Class 2 Minor Historic Design Review decisions HLC staff, the Historic Preservation Officer (a designee of the Planning Administrator), shall render their decision supported by findings that explain conformance or lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

2. Historic Significance

The Elsinore Theatre was constructed in 1926 by George B. Guthrie in the Tudor Gothic style. The designer of this theatre was Ellis F. Lawrence of the Portland firm of Lawrence and Holford. Lawrence is known as the founder and dean of the University of Oregon School of Architecture. The general contractor was local building Cuyler Van Patten. Guthrie hoped to construct the best and finest theater in Salem. The building is individually listed on the National Register of Historic Places, while also a contributing building within Salem's downtown historic commercial district. The nomination states: "The Elsinore Theatre is significant as the most intact example of 1920's theatre design in Salem and the only example of a Gothic style theatre of this period within the state of Oregon." It is also significant as the only existing theatre design from the firm of Lawrence and Holford.

3. Analysis of Minor Historic Design Review Approval Criteria

SRC 230.020, Table 230-1 states that in kind window replacement on a primary façade is a Class 1 Minor Review. Staff utilized the information from the applicant's statements to evaluate the applicant's proposal and to compose the facts and findings within the staff report. Staff determined that the following standards from *230.060 (b) Standards for Individually Listed Public Historic Resources, Windows* are applicable to the portion of the project on the primary façade of the resource.

FINDINGS:

230.040 (a) Standards for Historic Contributing Resources in Commercial Historic Districts, Masonry

(1) Materials.

- (A) Original material shall, if possible, be retained or repaired.*
- (B) Replacement materials shall be, to the greatest degree possible, of the same type, quality, design, size, finish, proportions, and configuration of the original materials.*

Findings: The applicant is proposing to repair the existing masonry (board form concrete) as needed on the east side of the Elsinore Theatre Building in preparation of the restoration of the Mattingly Mural on this facade. The existing masonry will be washed in order to remove all of the dirt, biological growth and any loose flakes of paint. Any cracks or holes will be filled with a caulking and painted. The materials used to repair the wall, the caulking and patching compound as well as the oil based paints can all be found on the existing building. While a small amount of material must be removed within the three exterior damaged areas in order to repair the wall, the proposed replacement materials are to the greatest degree possible of the same type as the original materials, thereby meeting SRC 230.040(a).

(2) Design.

- (A) New materials added to a building shall, to the greatest degree possible, match the color, texture and bonding pattern of the original masonry.*
- (B) When repointing brick or masonry, the joint size, profile, color, strength, porosity and permeability of the original mortar should be matched.*
- (C) Unpainted masonry should not be painted or sealed.*
- (D) Paint should not be removed from brick unless testing demonstrates that no damage to the brick will result.*
- (E) The original appearance of the original materials shall be retained, including early signage, whenever possible.*

Findings: The applicant is proposing to repair the existing masonry (board form concrete) as needed on the east side of the Elsinore Theatre Building in preparation of the restoration of the Mattingly Mural on this facade. The existing masonry will be washed in order to remove all of the dirt, biological growth and any loose flakes of paint. Any cracks or holes will be filled with a caulking and painted. This masonry is already painted, so SRC 230.040(a)(2)(C) does not apply to this proposal. No paint will be removed, specifically meeting 230.040 (a) (2)(D). The Mural will be restored utilizing oil based paints, covered with a UV clear coat. These treatments will not adversely affect the existing masonry wall, and will serve to restore the Mattingly Mural, a

significant feature of the Elsinore Theatre. The original masonry will be retained, and any repairs will be finished to match the appearance of the existing masonry, thereby meeting the applicable criterion in 230.040(a)(2).

DECISION

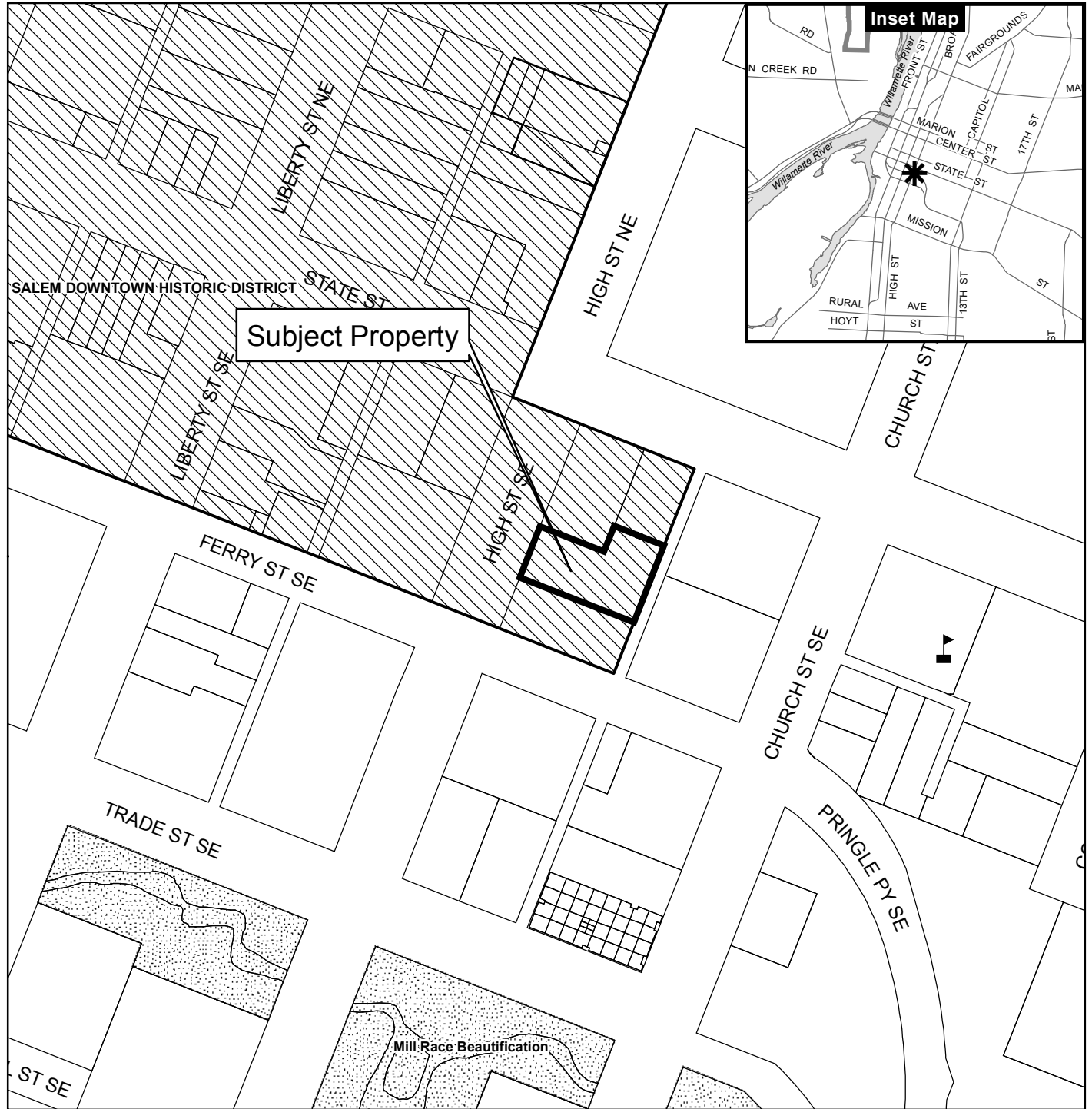
Based upon the application materials deemed complete on June 21, 2022 and the findings as presented in this report, the application for HIS22-20 is **APPROVED**.



Kimberli Fitzgerald, AICP
Historic Preservation Officer
Planning Administrator Designee

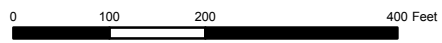
Attachments: A. Vicinity Map
B. Applicant's Submittal Materials- Excerpt

Vicinity Map 170 High Street SE



Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools
- Parks



This product is provided as is, without warranty. In no event is the City of Salem liable for damages from the use of this product. This product is subject to license and copyright limitations and further distribution or resale is prohibited.

2022 Matting Mural Repair Project – Elsinore Theatre

Proposed dates of work- August 1-25, 2022

Detailed Description of work:

- Repaint faded areas or repaint the entire mural (depending on funds raised)- the mural on the rear facade of the Elsinore Theatre, a historic contributing building in Salem's Downtown Historic District, zoned CB (Central Business District), and located at 170 High Street SE; 97301; Marion County Assessor's Map and Tax Lot number: 073W27AB02100.
- Repair 3 areas of lower wall where previous paint has not adhered well. Demo. failed areas using proper methods not to damage existing façade. Once demoed and prepped stainless steel all thread hangers will be installed into sound substrate to help allow patching compound to adhere properly. Patch will be finished to match finish of existing texture.
- Scrape, sand and prime double metal doors where paint has chipped.
- A suspended platform approximately 64' long will be used to access the mural on the East elevation of the theater. It will be used to clean, patch small holes, repaint wall, and apply two coats of sealant to help extend the life of the mural.). The platform will be supported from counterweighted outrigger beams; the front of the beams will rest on the concrete wall over padding to protect the cap flashing. Roof rigging will be craned on and off the roof by Santana Crane Service.
- The existing masonry will be gently washed to remove all the dirt, biological growth and any loose flakes of paint. Any small cracks or holes will be filled with a caulking and painted. This masonry is already painted, and no paint will be removed, specifically meeting 230.040 (a) (2)(C) and(D). The Mural will be

painted and covered with two applications of a UV clear coat. These treatments will not adversely affect the existing masonry wall and will serve to extend the life of the Mattingly Mural, a significant feature of the Elsinore Theatre. The original masonry will be retained, and any repairs will be finished to match the appearance of the existing masonry, thereby meeting SRC 230.040(a)(1) and 230.040(a)(2)(A), (B) and (E)

SEE PHOTOS BELOW

Wall repair sections:

1) Approx 18" wide by 8' tall



2.) 2' x 2'



3.) 12" x 50"



Metal Doors (right side pictured below)



Mural dimensions are 68' tall by 64.5' wide

