

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
FAX: 503-588-6005



*Si necesita ayuda para comprender esta informacion, por favor llame
503-588-6173*

DECISION OF THE HISTORIC PRESERVATION OFFICER

CLASS 2 MINOR HISTORIC DESIGN REVIEW CASE NO.: HIS22-10

APPLICATION NO.: 22-105921-DR

NOTICE OF DECISION DATE: May 11, 2022

SUMMARY: A proposal to install a new ramp on the Warehouse Building of the Willamette Heritage Center and replacement of a damaged window on the Drying Room.

REQUEST: A Class 2 minor historic design review for a new ramp on the Warehouse Building (contributing) of the Willamette Heritage Center and replacement of a damaged window on the Drying Room (attached to Dye House, non-contributing), within the Willamette Heritage Center/Thomas Kay Historic Park, individually listed on the National Register of Historic Places, on property zoned CR (Retail Commercial), and located at 1313 Mill Street SE - 97301 (Marion County Assessor Map and Tax Lot Number: 073W26BC/4000, 073W26BC/4100, and 073W26BC/4200).

APPLICANT: Michelle Cordova

LOCATION: 1313 Mill St SE, Salem OR 97301

CRITERIA: Salem Revised Code (SRC) Chapters 230.040(f) – Standards for historic contributing buildings in Commercial Historic Districts and 230.045(b) – Standards for non-contributing and structures in commercial historic districts

FINDINGS: The findings are in the attached Decision dated May 11, 2022.

DECISION: The **Historic Preservation Officer (a Planning Administrator designee)** **APPROVED** Class 2 Minor Historic Design Review Case No. HIS22-10 based upon the application materials deemed complete on April 20, 2022 and the findings as presented in this report.

The rights granted by the attached decision must be exercised, or an extension granted, by May 27, 2024, or this approval shall be null and void.

Application Deemed Complete:	<u>April 20, 2022</u>
Notice of Decision Mailing Date:	<u>May 11, 2022</u>
Decision Effective Date:	<u>May 27, 2022</u>
State Mandate Date:	<u>August 18, 2022</u>

Case Manager: Kimberli Fitzgerald, kfitzgerald@cityofsalem.net, 5035402397

This decision is final unless written appeal and associated fee (if applicable) from an aggrieved party is filed with the City of Salem Planning Division, Room 320, 555 Liberty Street SE, Salem OR 97301, or by email at planning@cityofsalem.net, no later than 5:00 p.m. Thursday, May 26, 2022. The notice of appeal must contain the

information required by SRC 300.1020 and must state where the decision failed to conform to the provisions of the applicable code section, SRC Chapter(s) 230. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Historic Landmarks Commission will review the appeal at a public hearing. After the hearing, the Historic Landmarks Commission may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review by contacting the case manager, or at the Planning Desk in the Permit Application Center, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>

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503-588-6173***

BEFORE THE PLANNING ADMINISTRATOR OF THE CITY OF SALEM

DECISION

**IN THE MATTER OF APPROVAL OF) MINOR HISTORIC DESIGN REVIEW
HISTORIC DESIGN REVIEW)
CASE NO. HIS22-10)
1313 MILL ST SE) May 11, 2022**

In the matter of the application for a Minor Historic Design Review submitted by Jeanne Boatwright on behalf of the Willamette Heritage Center, the Historic Preservation Officer (a Planning Administrator Designee), having received and reviewed evidence and the application materials, makes the following findings and adopts the following order as set forth herein.

REQUEST

Summary: A proposal to install a new ramp on the Warehouse Building of the Willamette Heritage Center and replacement of a damaged window on the Drying Room.

Request: A Class 2 minor historic design review for a new ramp on the Warehouse Building (contributing) of the Willamette Heritage Center and replacement of a damaged window on the Drying Room (attached to Dye House, non-contributing), within the Willamette Heritage Center/Thomas Kay Historic Park, individually listed on the National Register of Historic Places, on property zoned CR (Retail Commercial), and located at 1313 Mill Street SE - 97301 (Marion County Assessor Map and Tax Lot Number: 073W26BC/4000, 073W26BC/4100, and 073W26BC/4200).

A vicinity map illustrating the location of the property is attached hereto, and made a part of this decision (**Attachment A**).

FINDINGS

1. Minor Historic Design Review Applicability

SRC230.020(f) requires Historic Design Review approval for any alterations to historic resources as those terms and procedures are defined in SRC 230. The Planning Administrator shall render a decision supported by findings that explain conformance or lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

PROPOSAL

The applicant is proposing a new ramp on the Warehouse Building (contributing) of the Willamette Heritage Center in order to provide ramp access to the restaurant portion of the warehouse. The applicant is also proposing the replacement of a damaged window on the Drying Room (attached to Dye House, non-contributing), due to damage that was sustained to the original.

Ramp details: The ramp is approximately twenty-two feet in length and four feet in width and provides access to the rear portion of the warehouse at the northeast side. The ramp is made out of cedar posts and cedar rails with a galvanized steel pipe handrail and concrete footings. The railings are about three-and-a-half feet tall. Currently, the only access to the door is a small set of stairs, making it difficult to carry heavy packages from the adjacent driveway into the warehouse.

Window details: The damaged window located on the western portion of the Dye House (sometimes referred to as the Drying Room part of the Dye House), is 46 $\frac{3}{4}$ " x 86" in size. It is currently made out of wood and glass and was installed when the Dye House was rebuilt on the grounds in 1984, so is not original to the structure. The applicant is proposing to replace the window with a fiberglass window to allow for additional strength and security for the large window bay that leads directly to a highly utilized event spaces the museum has. The fiberglass window is proposed to be the same design (3x5 grid), built with a $\frac{3}{4}$ " vintage style grid design that mimics the original window.

The applicant's submittal plans are included as **Attachment B**.

SUMMARY OF RECORD

The following items are submitted to the record and are available upon request: All materials submitted by the applicant, including any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports; any materials and comments from public agencies, City departments, neighborhood associations, and the public; and all documents referenced in this report.

APPLICANT'S STATEMENT

A request for historic design review must be supported by proof that it conforms to all applicable criteria imposed by the Salem Revised Code. The applicants submitted a written statement, which is included as **Attachment B** in this staff report.

Staff utilized the information from the applicant's statements to evaluate the applicant's proposal and to compose the facts and findings within the staff report. Salem Revised Code (SRC) Chapter(s) *230.040(f)* – Standards for historic contributing buildings in Commercial Historic Districts and *230.045(b)* – Standards for non-contributing and structures in commercial historic districts are the applicable criteria for evaluation of this proposal.

FACTS & FINDINGS

1. Historic Designation

Under Salem Revised Code (SRC) Chapter 230, no exterior portion of a local historic resource, contributing, non-contributing building or new construction in a historic district shall be erected, altered, restored, moved or demolished until historic design review approval has been granted on the basis of the project's conformity with the applicable criteria in SRC 230. Conditions of approval, if any, shall be limited to project modifications required to meet the applicable criteria.

According to SRC 230.020(f), historic design review approval shall be granted if the application satisfies the applicable standards set forth in Chapter 230. For Class 1 and Class 2 Minor Historic Design Review decisions HLC staff, the Historic Preservation Officer (a designee of the Planning Administrator), shall render their decision supported by findings that explain conformance or lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

2. Neighborhood and Citizen Comments

The subject property is located within the South Ease Salem Neighborhood Association (SESNA). A Request for Comments was sent to the neighborhood association, and surrounding property owners within 250 feet of the property pursuant to Salem Revised Code (SRC) requirements on April 20, 2022. No comments were received from the neighborhood association or from adjoining property owners.

3. City Department and Public Agency Comments

The Building and Safety Division indicates that the applicant must obtain required permits. The Planning Division has reviewed the proposal and states that site plan review is required for the addition of the ramp. The Fire Department and Public Works had no concerns regarding the proposal.

4. Historic Design Review

SRC Chapter 230.040(f) – Standards for historic contributing buildings in Commercial Historic Districts and 230.045(b) – Standards for non-contributing and structures in commercial historic districts. Table 230-1 defines alterations on a non-primary façade and window replacement on non-contributing features as a Class 2 Minor Historic Design Review. Historic Landmarks Commission staff reviewed the project proposal and has the following findings for the applicable criterion.

FINDINGS:

Ramp Addition/Alteration on historic-contributing Warehouse Building

Criteria 230.056(f) Standards for historic contributing buildings in commercial historic districts: Alterations and Additions

(f) Alterations and additions. Additions to, or alterations of, the historic contributing building may be made to accommodate uses other than the originally intended purpose.

(1) Materials. Materials for alterations or additions shall:

(A) Building materials shall be of traditional dimensions.

(B) Material shall be of the same type, quality and finish as original material in the building.

(C) New masonry added to a building shall, to the greatest degree possible, match the color, texture and bonding pattern of the original masonry.

(D) For those areas where original material must be disturbed, original material shall be retained to the maximum extent possible.

Finding: The applicant has proposed to build the ramp out of wood in dimensions that are proportional to the size of the warehouse. The ramp is approximately twenty-two feet in length and four feet in width and provides access. It is made of cedar posts and cedar rails with a galvanized steel pipe handrail and concrete footings. The railings are about three-and-a-half feet tall. There is no masonry proposed, and no original material is being removed as part of this proposal. This standard is met.

(2) Design. Alterations or additions shall:

- (A) Additions shall be located at the rear, or on an inconspicuous side, of the building.*
- (B) Be designed and constructed to minimize changes to the building.*
- (C) Be limited in size and scale such that a harmonious relationship is created in relationship to the original building.*
- (D) Be designed and constructed in a manner that significant historical, architectural or cultural features of the building are not obscured, damaged, or destroyed.*
- (E) Be designed to be compatible with the size, scale, material, and character of the building, and the district generally.*
- (F) Not destroy or adversely impact existing distinctive materials, features, finishes and construction techniques or examples of craftsmanship that are part of the building.*
- (G) Be constructed with the least possible loss of historic materials*
- (H) Not create a false sense of historical development by including features that would appear to have been part of the building during the period of significance but whose existence is not supported by historical evidence.*
- (I) Be designed in a manner that makes it clear what is original to the building and what is new.*
- (J) Be designed to reflect, but not replicate, the architectural styles of the period of significance.*
- (K) Preserve features of the building that has occurred over time and has attained significance in its own right.*
- (L) Preserve distinguishing original qualities of the building and its site.*
- (M) Not increase the height of a building to more than four stories.*

Finding: The ramp is approximately twenty-two feet in length and four feet in width and provides access to the rear portion of the warehouse at the northeast side, and the warehouses' secondary façade. The ramp is made out of cedar posts and cedar rails with a galvanized steel pipe handrail and concrete footings. The railings are about three-and-a-half feet tall. The ramp is proposed to access a rear door via the same opening that is currently served by a small set of stairs and will not disturb or obscure and original significant features of the building. The design and proportion of the ramp is compatible with the existing warehouse. This standard is met.

Proposal to replace window on non-contributing Dye House (Drying Room)

(b) Windows. Replacement of windows in non-contributing buildings is allowed.

(1) Materials.

- (A) Windows dating from the period of significance shall, if possible, be retained and repaired or restored.*
- (B) Replacement materials shall be, to the greatest extent practicable, of the same type, quality, design, size, finish, proportions and configuration of windows commonly used on other buildings in the district.*

(C) Glass block or tinted, mirrored, opaque, or colored glass is not permitted, unless it is the historic glazing type.

Finding: The existing, damaged window is not from the period of significance and was installed during the 1984 reconstruction of the Dye House building. The proposed replacement material is fiberglass, which is paintable and replicates the design of the original wooden window. The original window and proposed replacement are both 46 ¾" x 86" in size. The fiberglass window is proposed to be the same design (3x5 grid), built with a ¾" vintage style grid design that mimics the original window. The glass is proposed to be clear. This standard is met.

DECISION

Based upon the application materials deemed complete on April 20, 2022 and the findings as presented in this report, the application for HIS22-02 is **APPROVED**.

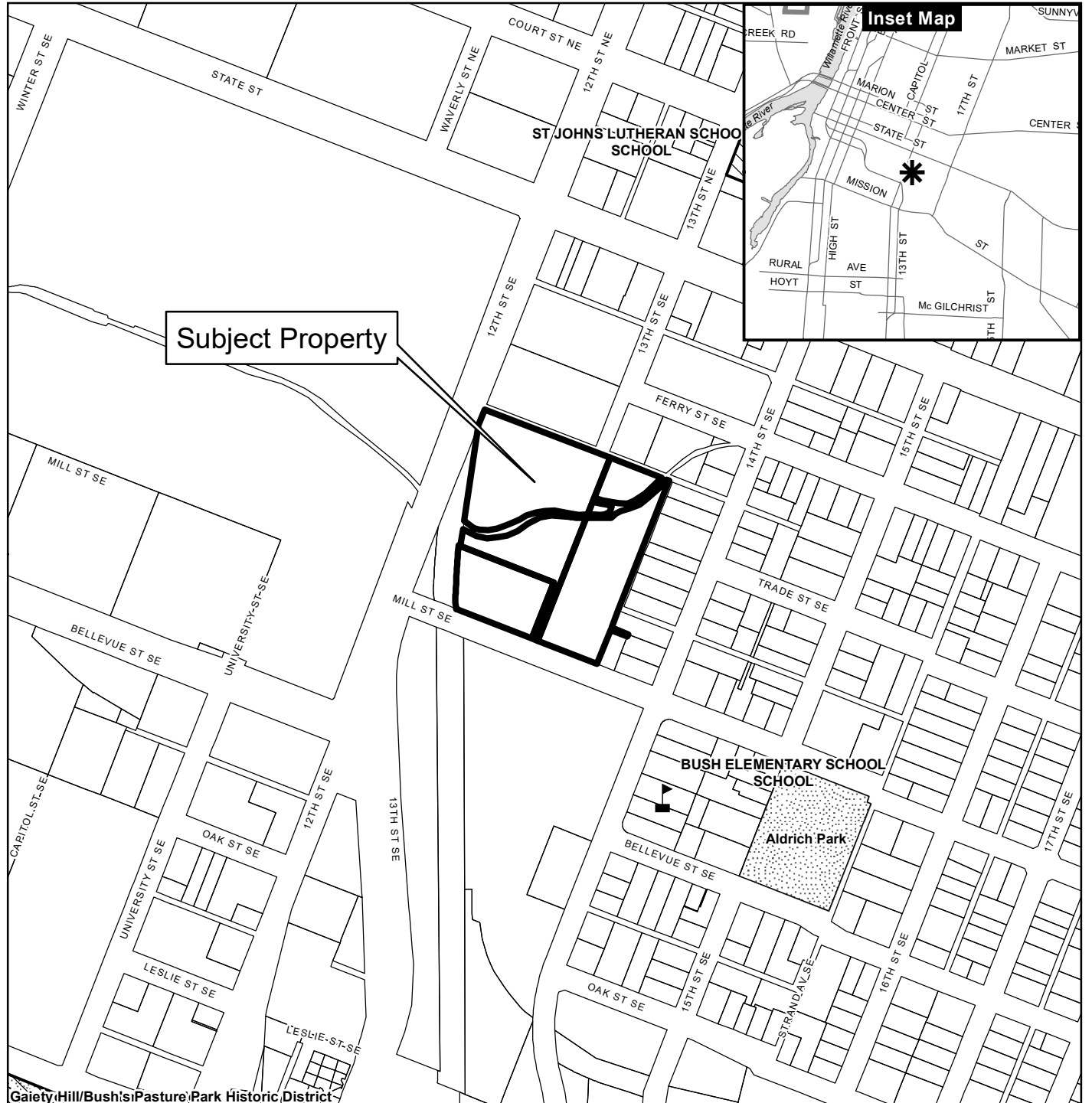


Kimberli Fitzgerald, AICP
Historic Preservation Officer
Planning Administrator Designee

Attachments: A. Vicinity Map
B. Applicant's Submittal Materials

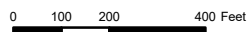
Prepared by Kirsten Straus, Planner I

Vicinity Map 1313 Mill St SE



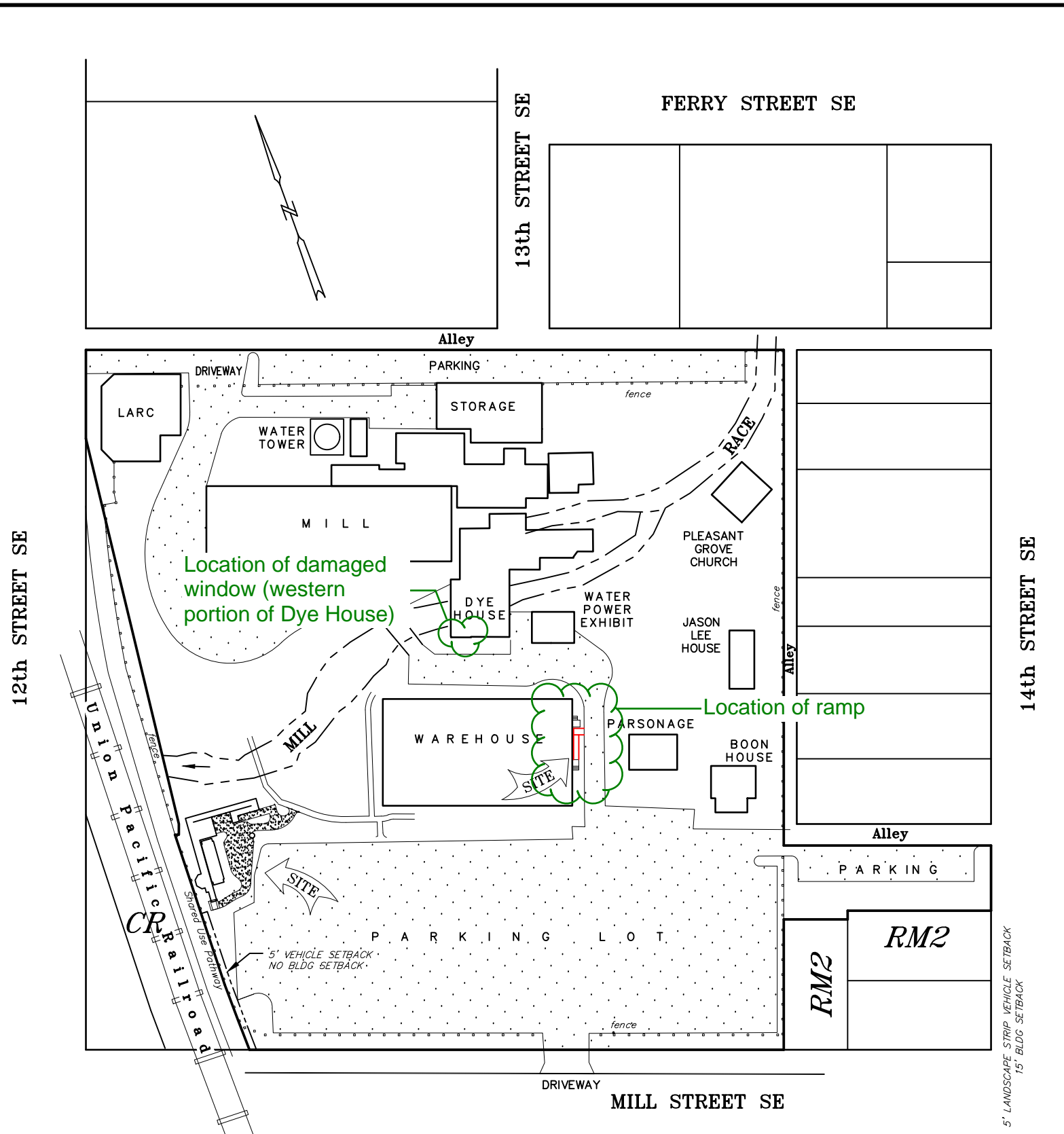
Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools
- Parks



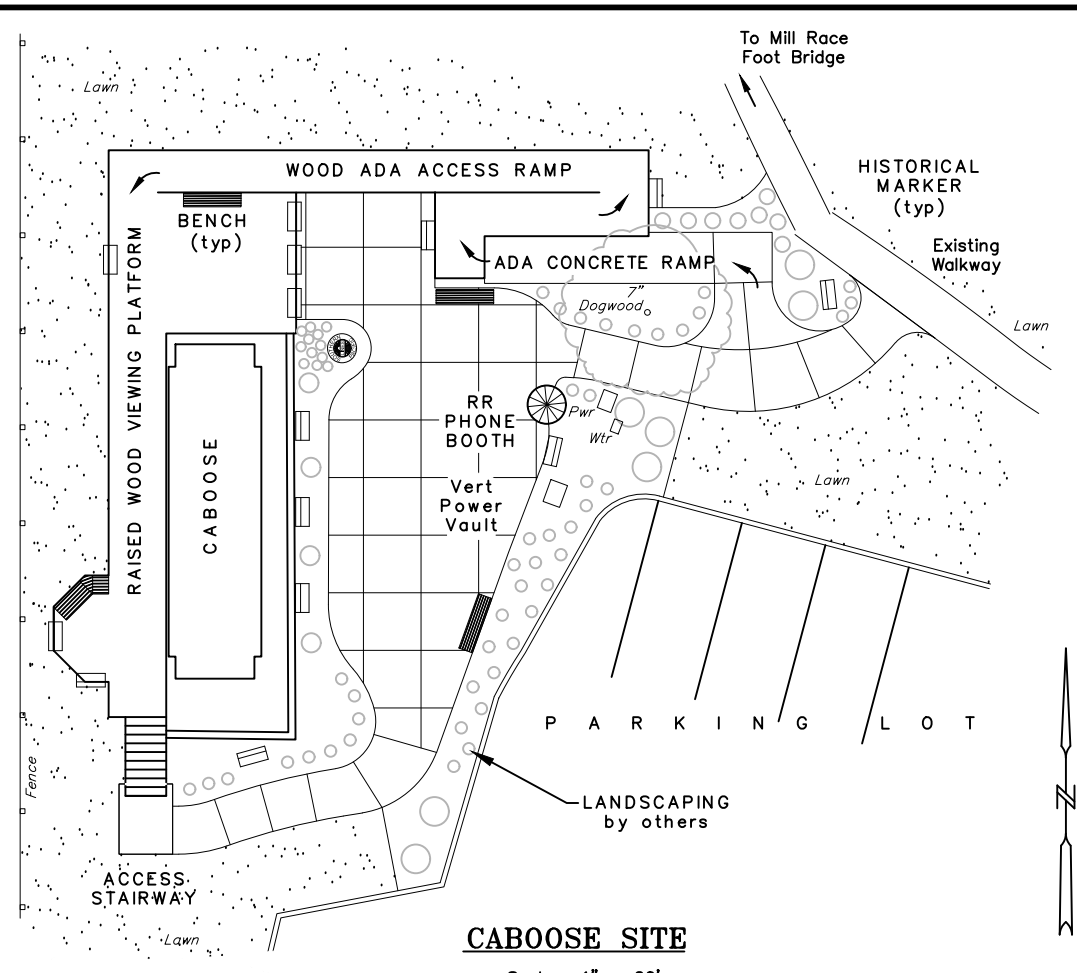
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PROJ\Willamette Heritage Caboose\DWG\site plan.dwg

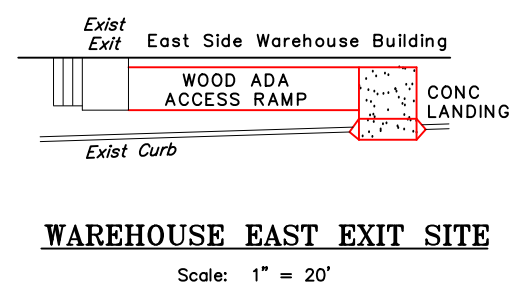


WILLAMETTE HERITAGE CENTER SITE
Scale: 1" = 100'

5' LANDSCAPE STRIP VEHICLE SETBACK
15' BLDG SETBACK



CABOOSE SITE
Scale: 1" = 20'

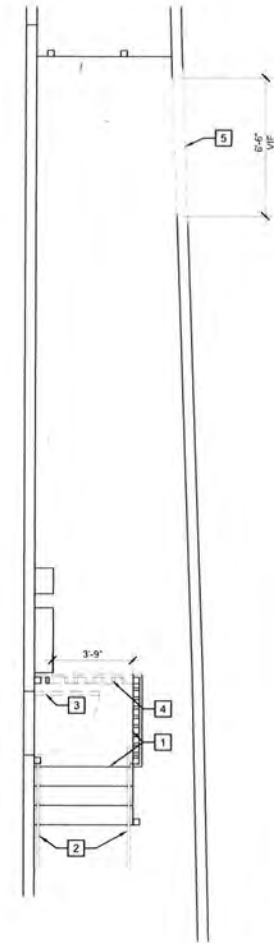
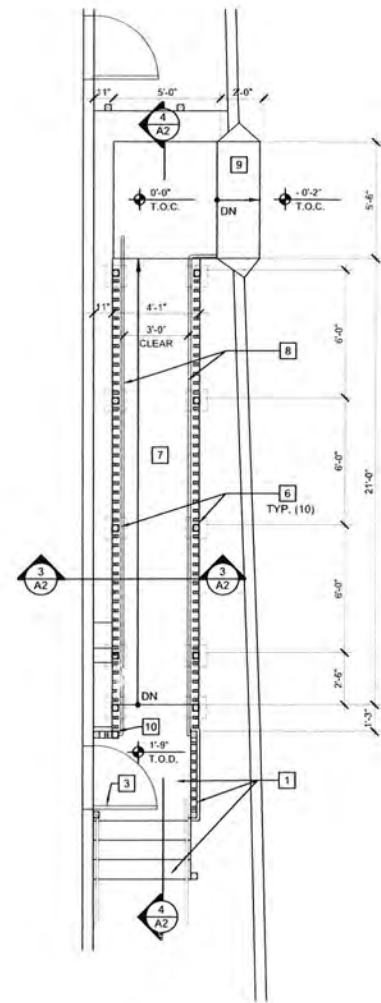


WAREHOUSE EAST EXIT SITE
Scale: 1" = 20'

Site Plan

Willamette Heritage Center		
1909 Southern Pacific Caboose #507		
Sec 26, T7S, R3W, WM	City of Salem	MARION COUNTY, OREGON
Scale: As Noted	Date: August 19, 2016	Revised: Feb 14, 2022 June 2, 2021
Design: JMB	Boatwright Engineering, Inc. 2613 12th Street SE, SALEM, OREGON 97302 TEL: (503) 363-9225 • FAX: (503) 363-1051	Job No. 16/7
Drawn: JMB		Sheet
Chkd: CFB		LU1 of 6

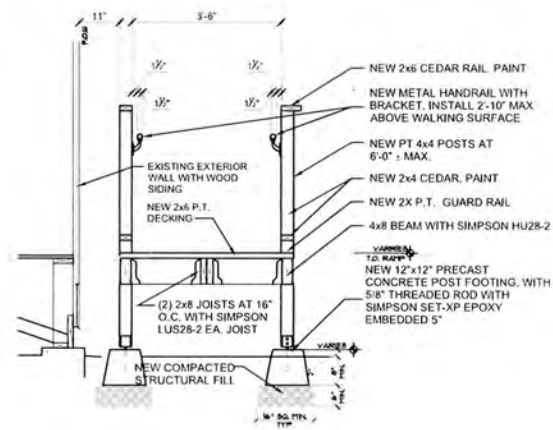




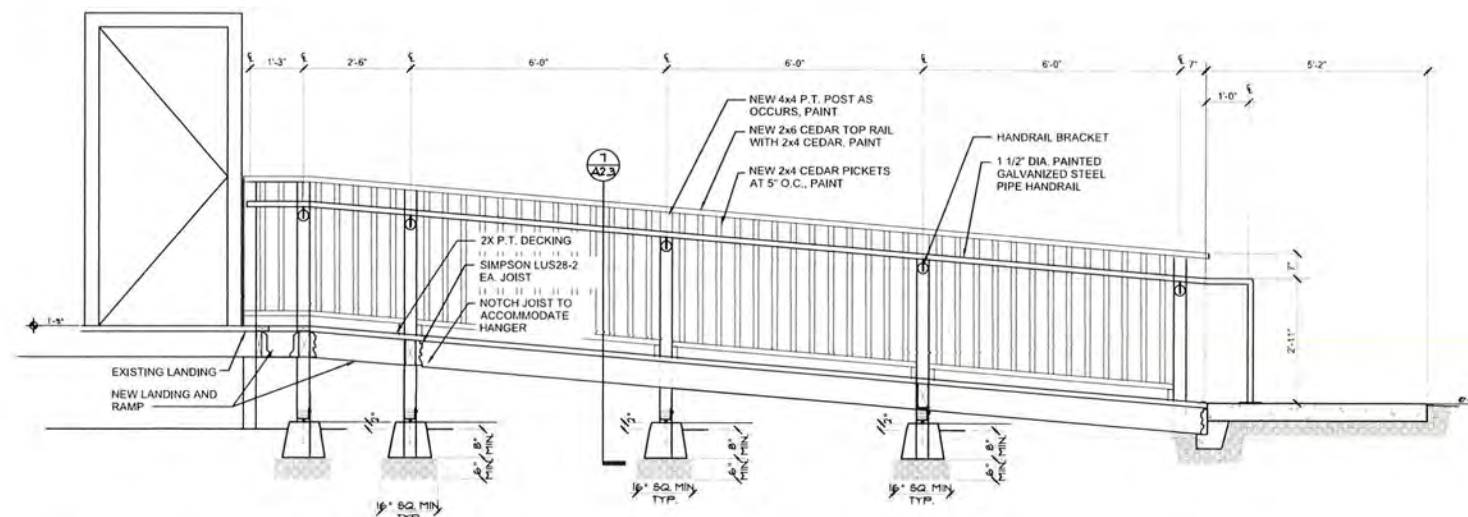
1 PARTIAL FIRST FLOOR PLAN - NEW WORK
SCALE: 1/4" = 1'-0"



2 PARTIAL FIRST FLOOR PLAN - DEMOLITION
SCALE: 1/4" = 1'-0"



3 SECTION
SCALE: 1/2" = 1'-0"



4 SECTION
SCALE: 1/2" = 1'-0"

GENERAL NOTES:

1. GENERAL NOTES APPLY TO ALL DRAWINGS. REFER TO SHEET A0.0 FOR COMPLETE LIST OF GENERAL NOTES.
2. DIMENSIONS ARE TO EXISTING FACE OF WALL, FACE OF NEW FRAMING AND FACE OF EXISTING CONCRETE UNLESS NOTED OTHERWISE.
3. DRAWINGS ARE DIAGNOSTIC ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS PRIOR TO PROCEEDING WITH AREA OF QUESTIONABLE WORK.
4. PRIOR TO COMPLETE DEMOLITION OF WALLS, VERIFY STRUCTURAL SYSTEM TO VERIFY LOAD BEARING COMPONENTS.
5. REFER TO OWNER FOR ALL FINISHES.
6. REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DESIGN BUILD DRAWINGS FOR ADDITIONAL INFORMATION.

LEGEND:

- EXISTING WALL TO REMAIN
- 4" CONCRETE SLAB OVER 8" CRUSHED AGGREGATE BASE
- SPOT ELEVATION
- AREA OF SELECTIVE DEMOLITION

REFERENCE NOTES:

1. EXISTING WOOD DECK, FRAMING, STAIRS, AND CONCRETE POST FOOTINGS TO REMAIN.
2. EXISTING STEEL HANDRAIL TO REMAIN
3. EXISTING DOOR, REMOVE AND REPLACE WITH SWING AS SHOWN
4. EXISTING WOOD RAILING TO BE REMOVED
5. EXISTING CONCRETE CURB TO BE REMOVED
6. NEW P.T. 4"x4" POSTS WITH 12"x12" CONCRETE BLOCK FOOTING
7. NEW P.T. 2x6 DECKING OVER P.T. (2) 2x8 JOISTS AT 16" O.C.
8. NEW METAL HANDRAIL, PREP AND PAINT
9. NEW CONCRETE CURB RAMP MAX SLOPE 1:12
10. NEW P.T. 4x4 POST SECURED TO EXISTING DECK AND RAIL



In the event conflicts are discovered between the original signed and sealed documents prepared by the Architect and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO. 2021.0037.100

DATE JULY 12, 2021

DRAWN KEC

REVISIONS



ARCHITECTURE
COMMUNITY
363 State Street
Salem, OR
97301-3633
P: 503.581.4114
WWW.AC+CO.COM

WILLAMETTE
HERITAGE CENTER
RAMP

1313 MILL STREET SE
SALEM, OREGON 97301

SHEET

A2

EXISTING
DAMAGED
WINDOW





2324 12TH ST SE
Salem OR 97302

(503) 581-5001 Fax (503) 581-2575

OR CCB# 104334 | WA #SOUTHtg972j4

Estimate

Date	Estimate #
3/30/2022	23093

Name / Address
Willamette Heritage Center 1313 Mill St SE Ste 200 Salem, OR 97301

Site/Project Information:

Customer E-mail
hollyk@willametteheritage.org

Main Phone	Alt. Phone	Customer Fax	Rep
503-585-7012			BG

Item	Description
Windows	46 3/4 x 86 PW Tempered - Milgard Ultra Series white Fiberglass frames with 1/4" clear glass on exterior lite, with 3x5 white Narrow vintage style grids, with sloped sill adapter
Misc Job Mat...	Misc Job Materials
R Labor	Salem Labor

I hereby accept the estimate outlined above and authorize South Town Glass to carry out and order all relevant materials, relevant to the work described.

--

Customer Signature

Date

Thank You for Giving South Town Glass the Opportunity to Provide You with Excellent Service!

Grids

Express your creativity and dramatically increase curb appeal with our virtually endless grid options. Choose flat or sculptured grids inside our insulated glass units for easy cleaning.



Flat Grid



Craftsman



1-1/8" Vintage



Sculptured



Legacy



3/4" Vintage