



NOTICE of FILING

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.

CASE NUMBER:	Class 3 Site Plan Review / Class 2 Adjustment / Class 2 Driveway Approach Permit / Class 1 Design Review Case No. SPR-ADJ-DAP-DR22-45
PROPERTY LOCATION:	4345 Sunnyside Rd SE, Salem OR 97302
NOTICE MAILING DATE:	November 4, 2022
PROPOSAL SUMMARY:	A proposal for a new 24-unit multi-family housing development.
COMMENT PERIOD:	All written comments must be submitted to City Staff no later than 5:00 p.m. Friday, November 18, 2022. Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.
CASE MANAGER:	Jamie Donaldson, Planner II , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2328; E-mail: jdonaldson@cityofsalem.net
NEIGHBORHOOD ASSOCIATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> Faye Wright Neighborhood Association, Sue Hecox, Land Use Chair; Email: sihecox@msn.com .
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA TO BE CONSIDERED:	Salem Revised Code (SRC) Chapter(s) 220.005(f)(3) – Class 3 Site Plan Review; 250.005(d)(2) – Class 2 Adjustment; 250.005(d)(1) – Class 2 Driveway Approach Permit; 225.005(e)(1) – Class 1 Design Review Salem Revised Code (SRC) is available to view at this link: http://bit.ly/salemorcode . Type in the chapter number(s) listed above to view the applicable criteria.

PROPERTY OWNER(S):	Jake Buckendorf
APPLICANT(S):	Jake Buckendorf
PROPOSAL REQUEST:	<p>A consolidated application for a Class 3 Site Plan Review, Class 2 Adjustments, Class 2 Driveway Approach Permit, and Class 1 Design Review for development of a multi-family apartment building consisting of 24 units, parking, and associated site improvements. The Class 2 adjustments requested are to:</p> <ol style="list-style-type: none"> (1) Reduce the 12-foot setback abutting a street to 6 feet from the special setback line (SRC 521.010(b)); (2) Reduce the 10-foot landscaped setback along the south property line to 6 feet (SRC 521.010(b)); (3) Reduce the 20-foot setback for a vehicle use area abutting the RS zone to 15 feet (SRC 702.020(d)(3)); (4) Reduce the minimum required tree canopy spacing along the perimeter of the parking area (SRC 702.020(b)(7)); and (5) Reduce the required driveway spacing standard of 370 feet for a driveway approach along Sunnyside Rd SE, a Minor Arterial street (SRC 804.035(d)). <p>The subject property is approximately 1 acre in size, zoned CO (Commercial Office), and located at 4345 Sunnyside Road SE - 97302 (Marion County Assessors Map and Tax Lot number: 083W10AC / 600).</p>
APPLICATION PROCESS:	<p>Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.</p> <p>Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p>
MORE INFORMATION:	<p>All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at https://permits.cityofsalem.net. You can use the search function without registering and enter the permit number listed here: 22 107215. Paper copies can be obtained for a reasonable cost.</p>

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE

For more information about Planning in Salem:

<http://www.cityofsalem.net/planning>

It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7

REQUEST FOR COMMENTS

Si necesita ayuda para comprender esta información, por favor llame 503-588-6173

REGARDING: Class 3 Site Plan Review / Class 2 Adjustment / Class 2 Driveway Approach Permit / Class 1 Design Review Case No. SPR-ADJ-DAP-DR22-45

PROJECT ADDRESS: 4345 Sunnyside Rd SE, Salem OR 97302

AMANDA Application No.: 22-107215-RP, 22-107216-ZO, 22-108312-ZO, 22-107217-DR

COMMENT PERIOD ENDS: November 18, 2022

SUMMARY: A proposal for a new 24-unit multi-family housing development.

REQUEST: A consolidated application for a Class 3 Site Plan Review, Class 2 Adjustments, Class 2 Driveway Approach Permit, and Class 1 Design Review for development of a multi-family apartment building consisting of 24 units, parking, and associated site improvements. The Class 2 adjustments requested are to:

- (1) Reduce the 12-foot setback abutting a street to 6 feet from the special setback line (SRC 521.010(b));
- (2) Reduce the 10-foot landscaped setback along the south property line to 6 feet (SRC 521.010(b));
- (3) Reduce the 20-foot setback for a vehicle use area abutting the RS zone to 15 feet (SRC 702.020(d)(3));
- (4) Reduce the minimum required tree canopy spacing along the perimeter of the parking area (SRC 702.020(b)(7)); and
- (5) Reduce the required driveway spacing standard of 370 feet for a driveway approach along Sunnyside Rd SE, a Minor Arterial street (SRC 804.035(d)).

The subject property is approximately 1 acre in size, zoned CO (Commercial Office), and located at 4345 Sunnyside Road SE - 97302 (Marion County Assessors Map and Tax Lot number: 083W10AC / 600).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

Comments received by 5:00 p.m. Friday, November 18, 2022, will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.*

CASE MANAGER: Jamie Donaldson, Planner II, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2328; E-Mail: jdonaldson@cityofsalem.net.

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

PLEASE CHECK THE FOLLOWING THAT APPLY:

1. I have reviewed the proposal and have no objections to it.
2. I have reviewed the proposal and have the following comments: _____

Name/Agency: _____
Address: _____
Phone: _____
Email: _____
Date: _____

IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM



NO POSTAGE
NECESSARY
IF MAILED
IN THE
UNITED STATES

BUSINESS REPLY MAIL
FIRST-CLASS MAIL PERMIT NO. 1508 SALEM, OR

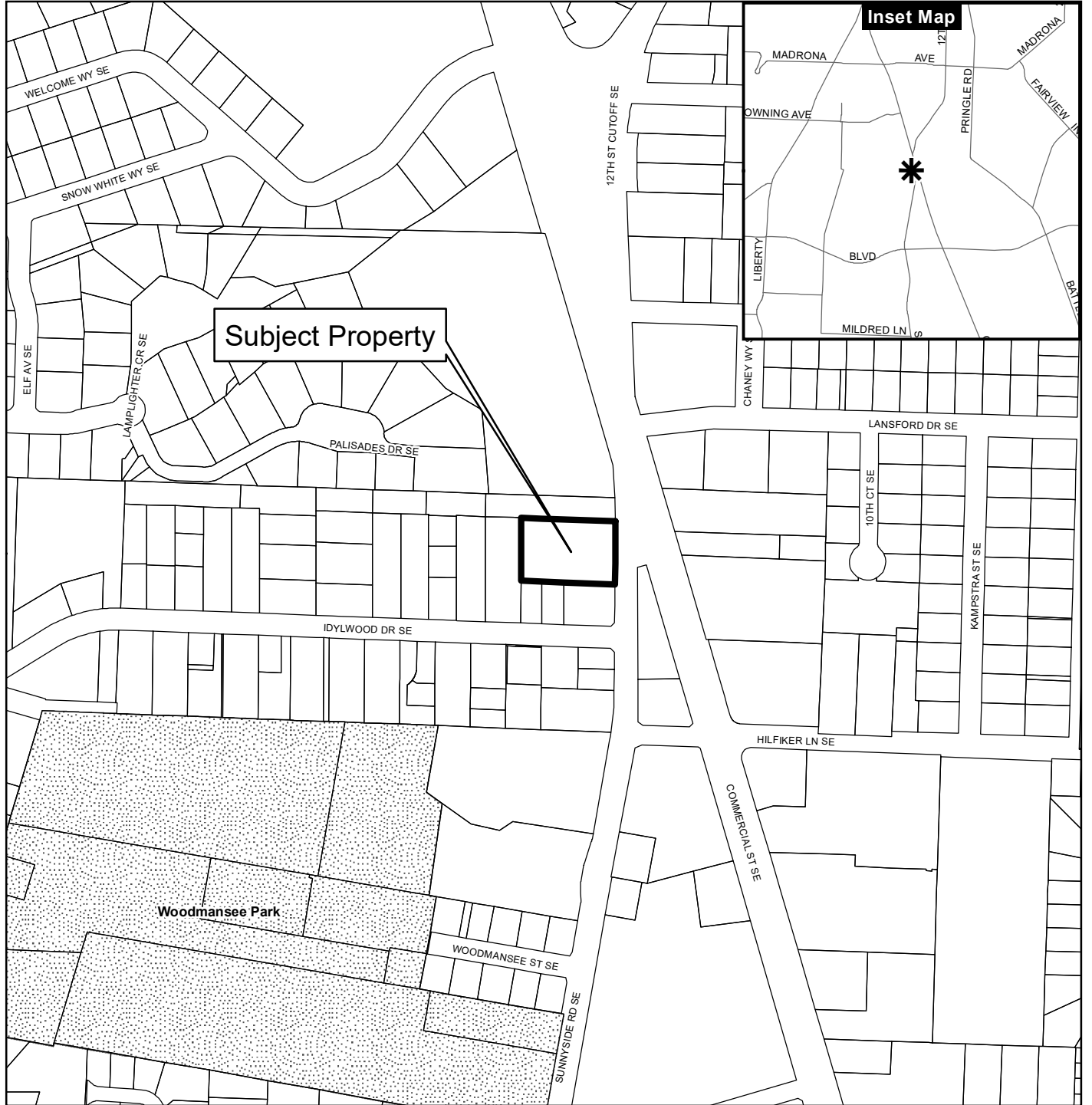
POSTAGE WILL BE PAID BY ADDRESSEE

PLANNING DIVISION
CITY OF SALEM RM 305
555 LIBERTY ST SE
SALEM OR 97301-9907



Vicinity Map

4345 Sunnyside Road SE

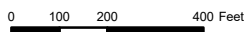


Subject Property

Inset Map

Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools
- Parks



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CLASS III SITE PLAN REVIEW/ CLASS I DESIGN REVIEW

4345 SUNNYSIDE RD SE, SALEM, OR 97306

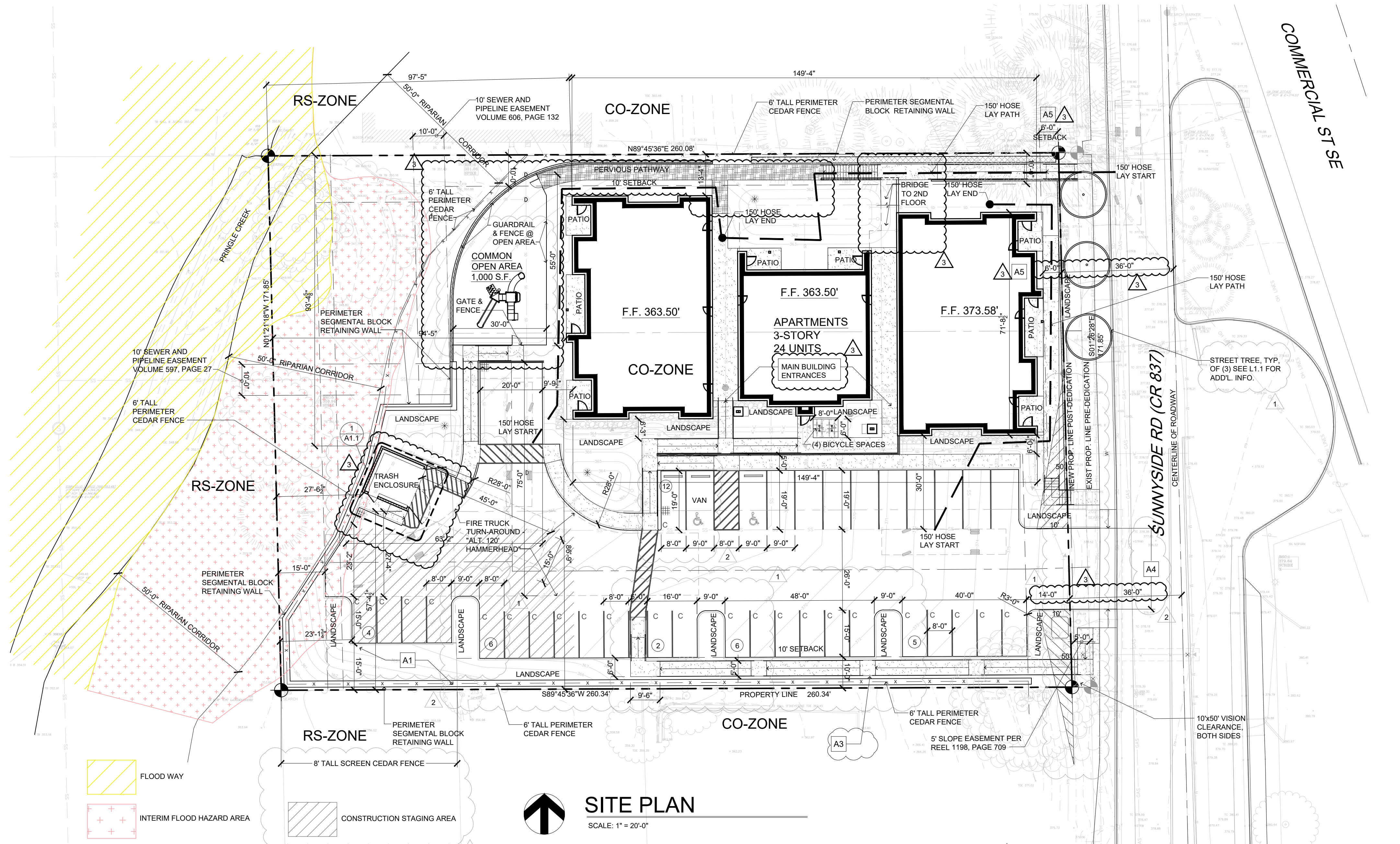
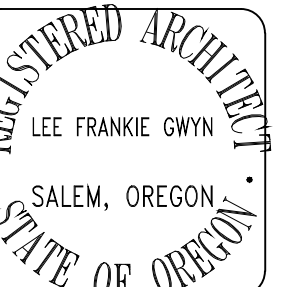
PROJECT TEAM:

OWNER
Buckendorf, Lake
4837 Viewcrest RD S
Salem, OR 97302

CIVIL
Westech Engineering, Inc.
Josh Wells, PE
3841 Fairview Ind. DR. STE 100
Salem, OR 97302
503.585.2474
jwells@westech-eng.com

ARCHITECT
Lentiny Architecture
Architect, Lee Gwyn
3150 Kettle Court SE
Salem, OR
503.399.1090
lee@lentinyarchitecture.com

SURVEYOR
Barker Surveying
Greg Wilson, President
3657 Kashmir Way SE
Salem, OR 97317
503.588.8800
greg@barkerwilson.com



PROJECT DATA

SITE DATA:		4345 SUNNYSIDE RD SE	
ADDRESS	4345 SUNNYSIDE RD SE		
MAP TAX LOT:	063W10AC00600		
PROPERTY AREA:	1.03 A 44,867 SQ. FT.		
ZONE:	CO (COM. OFFICE)		
PROPOSED USE:	MULTIPLE FAMILY		
SITE AREA BREAKDOWN:		PROPOSED	REQUIRED/ ALLOWED
APARTMENT BUILDING	24 (2) BEDROOM UNITS		
BLDG. "A" FOOTPRINT:	2,978 SQ. FT.		
BLDG. "B" FOOTPRINT:	1,890 SQ. FT.		
BLDG. "C" FOOTPRINT:	2,978 SQ. FT.		
BUILDING FOOTPRINT TOTAL:	7,846 SQ. FT. (17.4%)		
BUILDING HEIGHT:	41 FT.		50 FT. MAX
TRASH ENCLOSURE STRUCTURE:	256 SQ. FT. (0.5%)		15 FT. MAX
TRASH ENCLOSURE HEIGHT:	6 FT.		
SETBACKS:			
BUILDING SETBACK:	12 FT.		12 FT.
STREET:	N/A		N/A
INTERIOR FRONT:	13'-4"		10 FT. TYPE "C"
SIDE:	94'-5"		BLDG. HT. 20 FT. MIN
REAR:	N/A		
ACCESSORY STR. SETBACK:	N/A		12 FT.
STREET:	N/A		N/A
INTERIOR FRONT:	52'-6"		10 FT. TYPE "C"
SIDE:	26'-1"		10 FT. TYPE "C"
REAR:	20'-0"		12 FT.
VEHICLE USE SETBACK:	N/A		N/A
STREET:	10'-0"		10 FT. TYPE "C"
INTERIOR FRONT:	20'-0"		10 FT. TYPE "C"
SIDE:	20'-0"		10 FT. TYPE "C"
REAR:	20'-0"		10 FT. TYPE "C" (20' RS)
LANDSCAPING AREA:			
LANDSCAPING AREA:	17,138 SQ. FT. (38.0%)		6,730 SQ. FT. (15.0%)
PATIOS / WALKS:	5,307 SQ. FT. (11.8%)		
DRIVES:	2,702 SQ. FT. (6.0%)		
PARKING AREA (INC. INT. LS.):	10,924 SQ. FT. (24.3%)		
INTERIOR LANDSCAPE AREA:			
INTERIOR LANDSCAPE AREA:	990 SQ. FT. (9.0%)		546 SQ. FT. (5.0%)
OPEN SPACE:			
OPEN SPACE:	20,627 SQ. FT. (45.9%)		13,460 SQ. FT. (30.0%)
COMMON OPEN SPACE:	750 SQ. FT. (x2=1,500 S.F.)		
PRIVATE OPEN SPACE:	756 SQ. FT.		1,250 SQ. FT.
IMPERVIOUS AREA:			
IMPERVIOUS AREA:	27,729 SQ. FT. (62.0%)		
PERVIOUS AREA:	17,138 SQ. FT. (38.0%)		
PARKING BREAKDOWN (1.5 XUNIT):			
24 UNITS *1.5			NO MIN. REQ'D.
OPEN STANDARD SPACES	(9' x 19')	9	WITHIN 1/4 MILE OF CORE NETWORK
COMPACT SPACES	(8' x 15')	24	
ACCESSIBLE SPACES	(9' x 19')	2	
TOTAL SPACES		35	
BICYCLE PARKING BREAKDOWN (0.1 XUNIT - 4 MIN.):			
24 UNITS *0.1	(6' x 2')	4	(4) SPACES REQ'D.

DRAWING INDEX

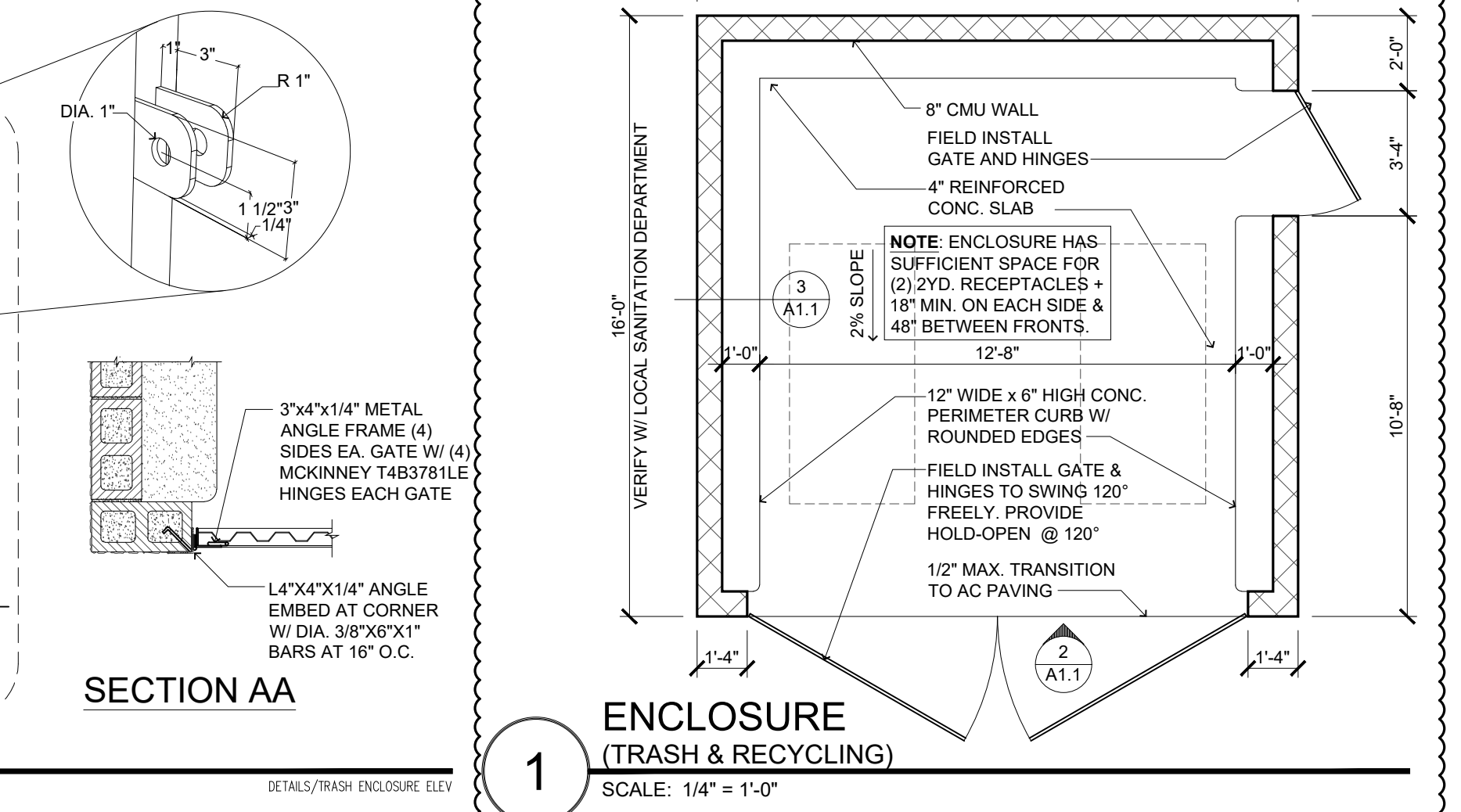
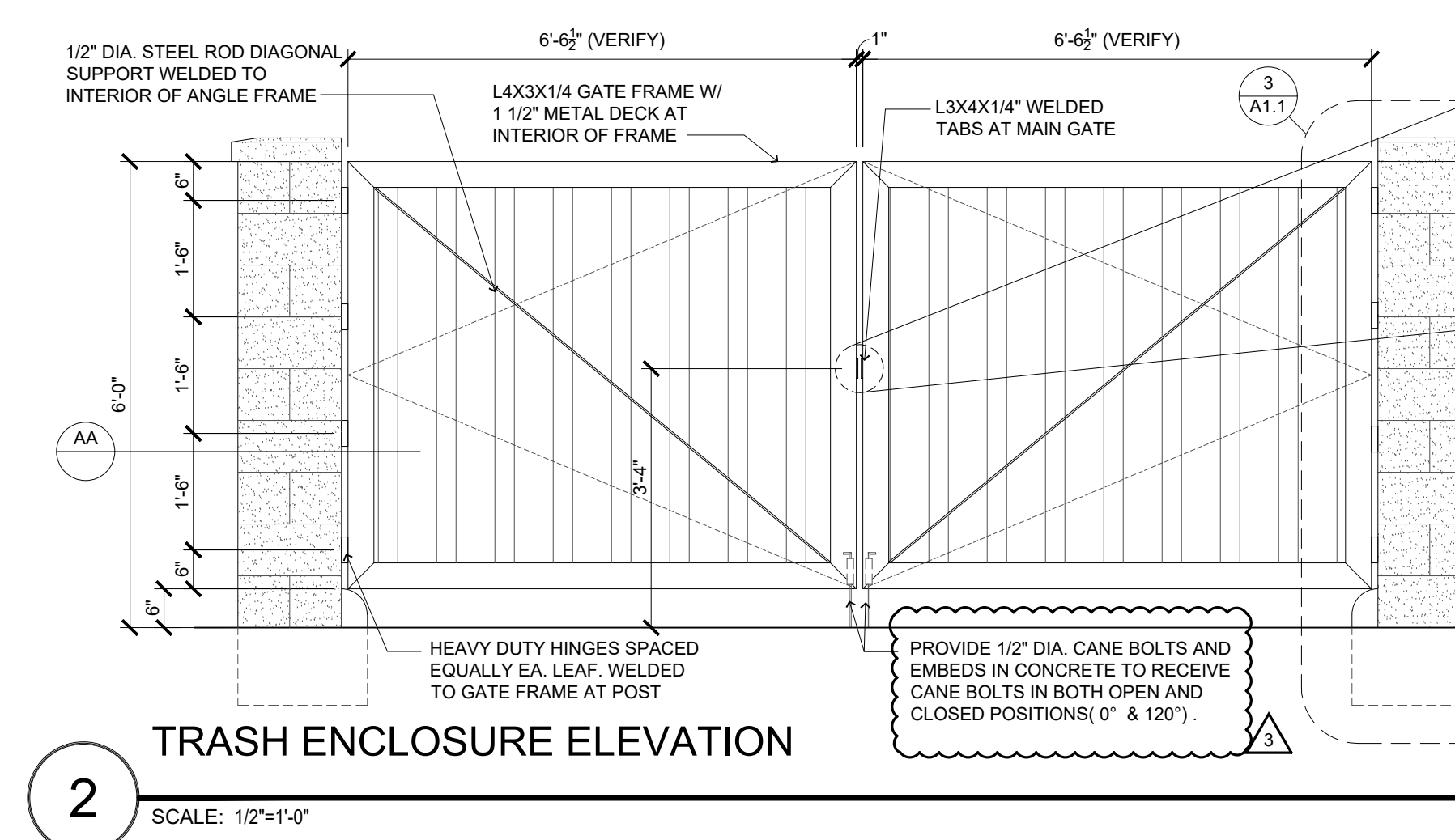
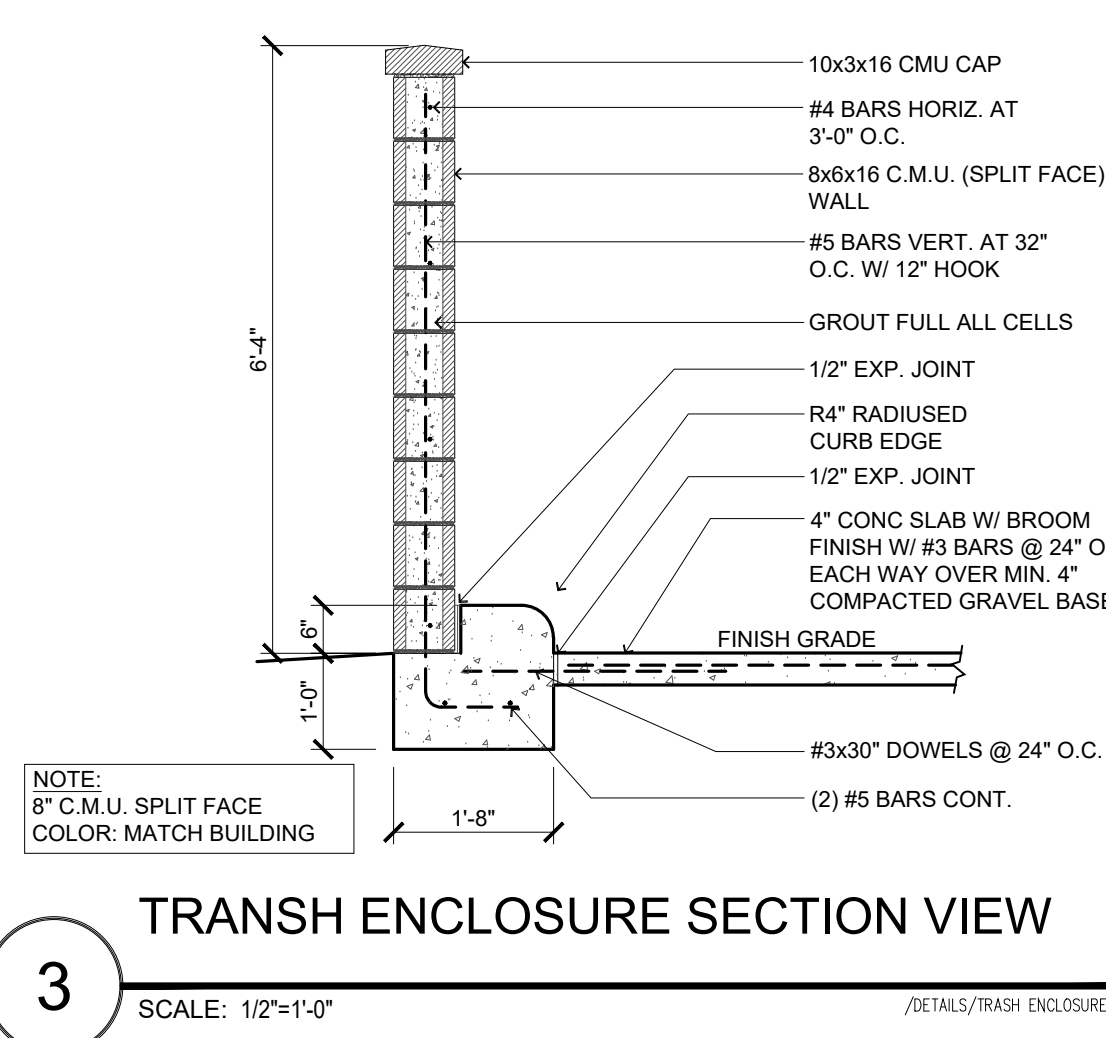
- SITE PLAN:**
- A1.1 COVER SHEET/ SITE PLAN
 - A1.2 OPEN SPACE PLAN
 - A6.1 BUILDING ELEVATIONS
- CIVIL PLANS:**
- C1.0 EXISTING CONDITIONS, EROSION CONTROL & DEMOLITION PLAN
 - C2.0 GRADING PLAN & DRAINAGE PLAN
 - C3.0 UTILITY PLAN
 - C7.0 INTERSECTION SIGHT DISTANCE ANALYSIS
- LANDSCAPE PLAN:**
- L1.1 PLANTING PLAN

KEYNOTES SCHEDULE

- A1** ADJUSTMENT #1:
SRC SEC. 702.020(d)(3) - 20' MIN. SETBACK TO 15' SETBACK WITH 8' TALL CEDAR FENCE
- A2** ADJUSTMENT #2:
MINIMUM OF ONE CANOPY TREE SHALL BE PLANTED ALONG EVERY 50 FEET OF THE PERIMETER OF PARKING AREAS. TRUNKS OF THE TREES SHALL BE LOCATED WITHIN TEN FEET OF THE EDGE OF THE PARKING AREA (SEE FIGURE 702-3)
- A3** ADJUSTMENT #3:
SRC SEC. 521.010(b) AND T521-3 - 10' WIDE TYPE "C" LANDSCAPE REDUCTION FOR ACCESSIBLE RAMP AND RETAINING WALL WITH 6' TALL CEDAR FENCE AND CLIMBING VINES
- A4** ADJUSTMENT #4:
A CLASS 2 DRIVEWAY APPROACH PERMIT IS REQUIRED AS WELL AS A CLASS 2 ZONING ADJUSTMENT TO ADDRESS THE SPACING STANDARD FOUND IN SRC 804.035(D)
- A5** ADJUSTMENT #5:
SRC TBL 521-3 - FRONT SETBACK FROM 12' TO 6' DUE TO SITE TOPOGRAPHY CONSTRAINTS

SITE PLAN

SCALE: 1" = 20'-0"



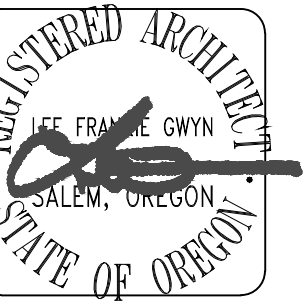
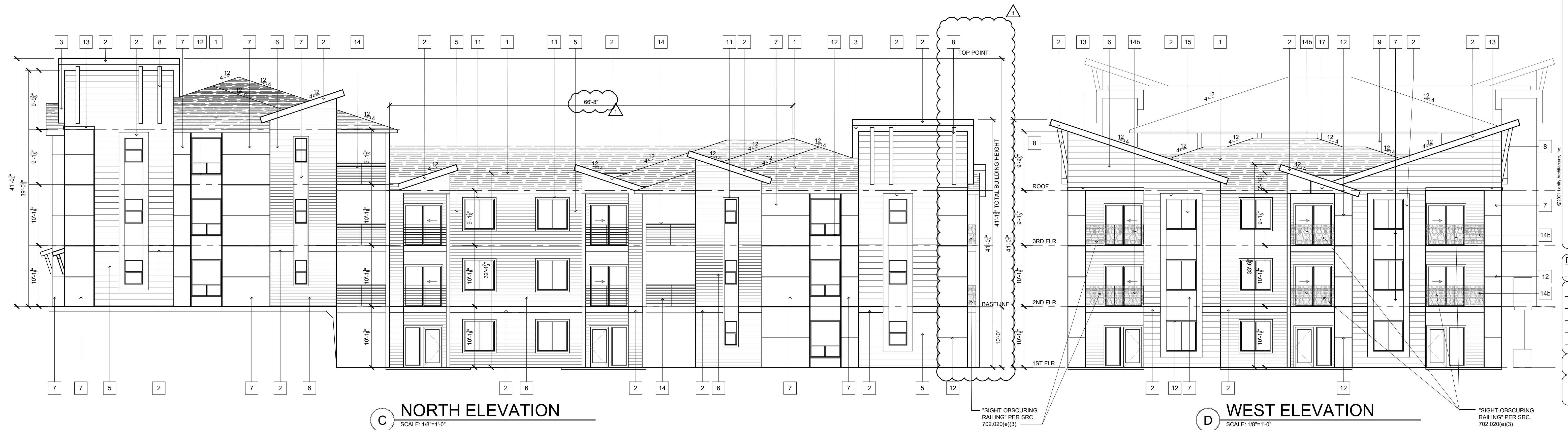
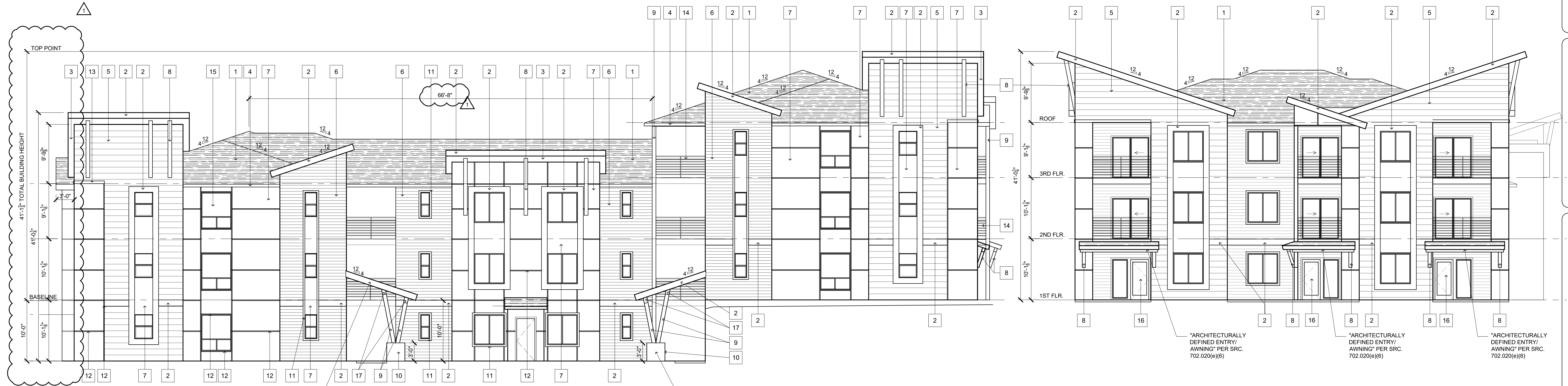
NEW 24 UNITS
APARTMENTS BUILDING
4345 SUNNYSIDE RD SE SALEM, OR 97302

SITE
OVERALL PLAN

DATE
04/12/2021
REVISED DATE
SHEET
A1.1

DESIGN REVIEW SET 04.12.21

KEY NOTES/ COLORS			
1	= 30YR ARCHITECTURAL COMPOSITE ASPHALT SHINGLE ROOFING	10	= NATURAL COLOR CONCRETE BASE
2	= 5/4 X 11.25 SMOOTH HARDIE TRIM	11	= 5/4 X 3.5 SMOOTH HARDIE TRIM BOARD
3	= SMOOTH HARDIE SOFFIT PANEL	12	= SMOOTH HARDIE BATTEN BOARD
4	= 6" CONTINUOUS FASCIA STYLE GUTTER	13	= 5/4 X 5.5 SMOOTH HARDIE TRIM BOARD
5	= 12" SMOOTH HARDIE PLANK LAP SIDING	14	= METAL POWDER COATED HORIZONTAL RAILING
6	= 7.25" SMOOTH HARDIE PLANK LAP SIDING	14b	= SIGHT OBSCURING RAILING
7	= SMOOTH HARDIE PANEL SIDING	15	= VINYL WINDOW
8	= 6X8 BRACE	16	= FIBERGLAS INSULATED SWINGING DOOR W/ GLASS
9	= 8X12 POST	17	= 8x12 BEAM



lenity
architecture, inc.
3150 Kettle Court SE, Salem, Oregon 97301
503.399.1950 #503.399.0565
lenityarchitecture.com

**NEW 24 UNITS
APARTMENTS BUILDING**
4345 SUNNYSIDE RD SE SALEM, OR 97302

ELEVATIONS

DATE: 04/12/2021
 REVISID DATE:
 SHEET: A6.1

DESIGN REVIEW SET 04.12.21

4/12/2021 5:38 PM map.ppk/12/2021 5:42 PM new plan.chg - Rev 3 file lockdoor/revna_integration/4345 sunnyside rd se apartments/lenity - site plan review/design review/1 elevations.dwg (6.1)