



NOTICE of FILING

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.

CASE NUMBER:	Class 3 Site Plan Review / Class 1 Adjustment / Class 1 Design Review Case No. SPR-ADJ-DR23-07
PROPERTY LOCATION:	4375 Rickey St SE, Salem OR 97317
NOTICE MAILING DATE:	March 9, 2023
PROPOSAL SUMMARY:	Proposed conversion of an existing eight-room senior care facility to an eight-unit multiple family development serving individuals with intellectual/developmental disabilities.
COMMENT PERIOD:	All written comments must be submitted to City Staff no later than <u>5:00 p.m. Thursday, March 23, 2023</u>. Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.
CASE MANAGER:	Bryce Bishop, Planner III , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2399; E-mail: bbishop@cityofsalem.net
NEIGHBORHOOD ASSOCIATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> Southeast Mill Creek Association (SEMCA), Alan Rasmussen, Land Use Chair; Phone: 503-930-1968; Email: arasmussen@modernbuildingsystems.com .
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA TO BE CONSIDERED:	Salem Revised Code (SRC) Chapter(s) 220.005(f)(3) - Class 3 Site Plan Review; 250.005(d)(1) - Class 1 Adjustment; 225.005(e)(1) - Class 1 Design Review Salem Revised Code (SRC) is available to view at this link: http://bit.ly/salemorcode . Type in the chapter number(s) listed above to view the applicable criteria.

PROPERTY OWNER(S):	Sunny Oaks, Inc. (Zanne D' Anna; Deborah Day; Aaron Brown; Carole Shavere; Carol Dronen; Karla Kappel; Lorie Fontaine; Brian Varley)
APPLICANT(S):	Brandie Dalton on behalf of Sunny Oaks, Inc.
PROPOSAL REQUEST:	A Class 3 Site Plan Review application for the proposed conversion of an existing eight-room senior care facility to an eight-unit multiple family development serving individuals with intellectual/developmental disabilities; together with a Class 1 Design Review to determine the proposed development's conformance with the applicable multiple family design review standards included under SRC 702.015 and a Class 1 Adjustment to increase the maximum allowed number of off-street parking spaces serving the proposed development from five spaces to six spaces (SRC 806.015(e)). The subject property is approximately 0.58 acres in size, zoned RM-II (Multiple Family Residential), and located at 4375 Rickey Street SE (Marion County Assessor Map and Tax Lot Number: 072W31DA12300).
APPLICATION PROCESS:	<p>Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.</p> <p>Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p>
MORE INFORMATION:	All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at https://permits.cityofsalem.net . You can use the search function without registering and enter the permit number listed here: 22 114781. Paper copies can be obtained for a reasonable cost.

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE
For more information about Planning in Salem:

<http://www.cityofsalem.net/planning>

It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development

Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7

REQUEST FOR COMMENTS

Si necesita ayuda para comprender esta información, por favor llame 503-588-6173

REGARDING: Class 3 Site Plan Review / Class 1 Adjustment / Class 1 Design Review Case No. SPR-ADJ-DR23-07

PROJECT ADDRESS: 4375 Rickey St SE, Salem OR 97317

AMANDA Application No.: 22-114781-PLN

COMMENT PERIOD ENDS: March 23, 2023

SUMMARY: Proposed conversion of an existing eight-room senior care facility to an eight-unit multiple family development serving individuals with intellectual/developmental disabilities.

REQUEST: A Class 3 Site Plan Review application for the proposed conversion of an existing eight-room senior care facility to an eight-unit multiple family development serving individuals with intellectual/developmental disabilities; together with a Class 1 Design Review to determine the proposed development's conformance with the applicable multiple family design review standards included under SRC 702.015 and a Class 1 Adjustment to increase the maximum allowed number of off-street parking spaces serving the proposed development from five spaces to six spaces (SRC 806.015(e)). The subject property is approximately 0.58 acres in size, zoned RM-II (Multiple Family Residential), and located at 4375 Rickey Street SE (Marion County Assessor Map and Tax Lot Number: 072W31DA12300).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

Comments received by 5:00 p.m. Thursday, March 23, 2023, will be considered in the decision process. Comments received after this date will be not considered. Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.

CASE MANAGER: Bryce Bishop, Planner III, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2399; E-Mail: bbishop@cityofsalem.net.

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

PLEASE CHECK THE FOLLOWING THAT APPLY:

- 1. I have reviewed the proposal and have no objections to it.
- 2. I have reviewed the proposal and have the following comments: _____

Name/Agency: _____

Address: _____

Phone: _____

Email: _____

Date: _____

IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM



NO POSTAGE
NECESSARY
IF MAILED
IN THE
UNITED STATES

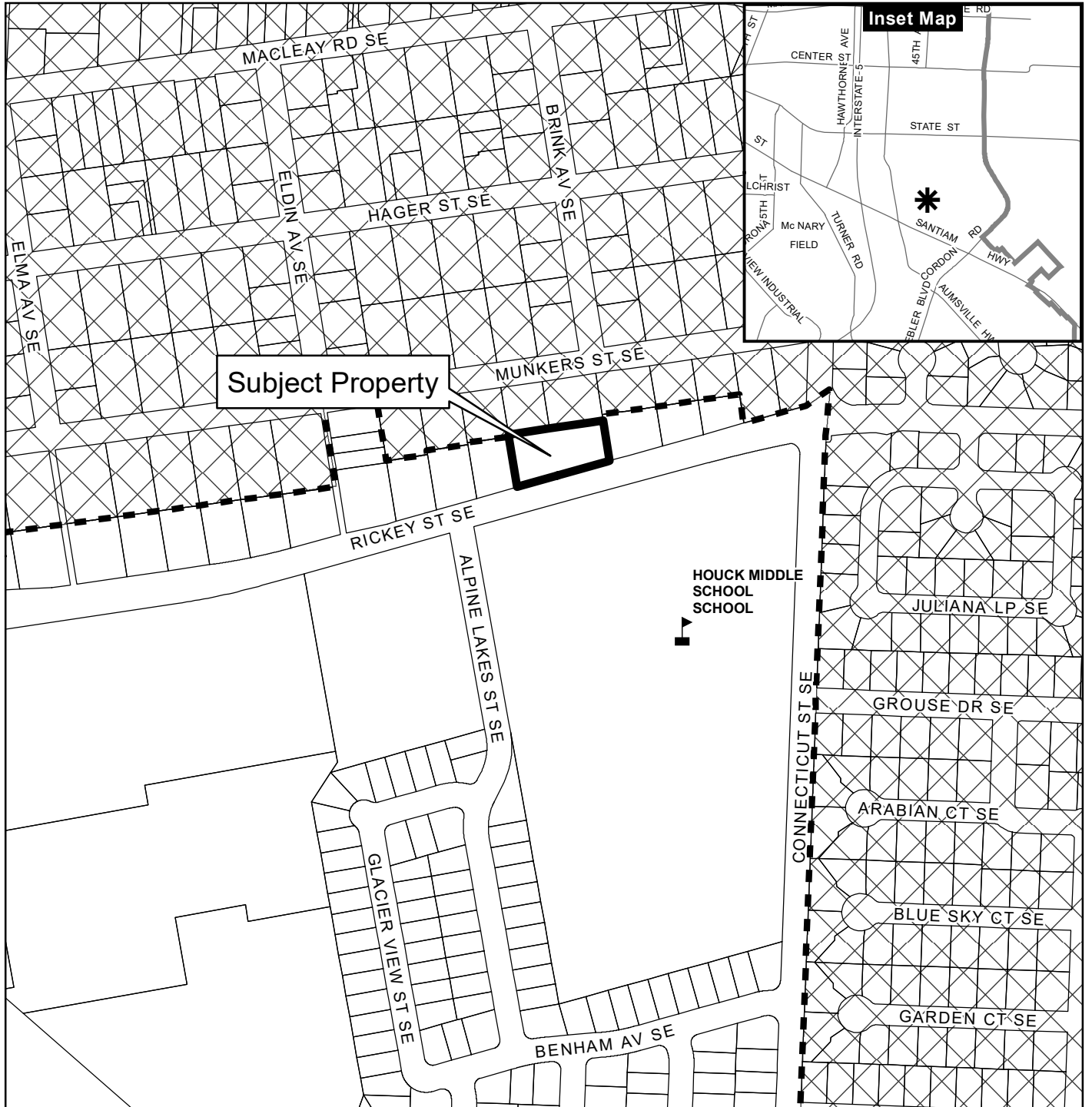
BUSINESS REPLY MAIL
FIRST-CLASS MAIL PERMIT NO. 1508 SALEM, OR

POSTAGE WILL BE PAID BY ADDRESSEE








PLANNING DIVISION
CITY OF SALEM RM 305
555 LIBERTY ST SE
SALEM OR 97301-9907



Vicinity Map 4375 Rickey Street SE



Legend

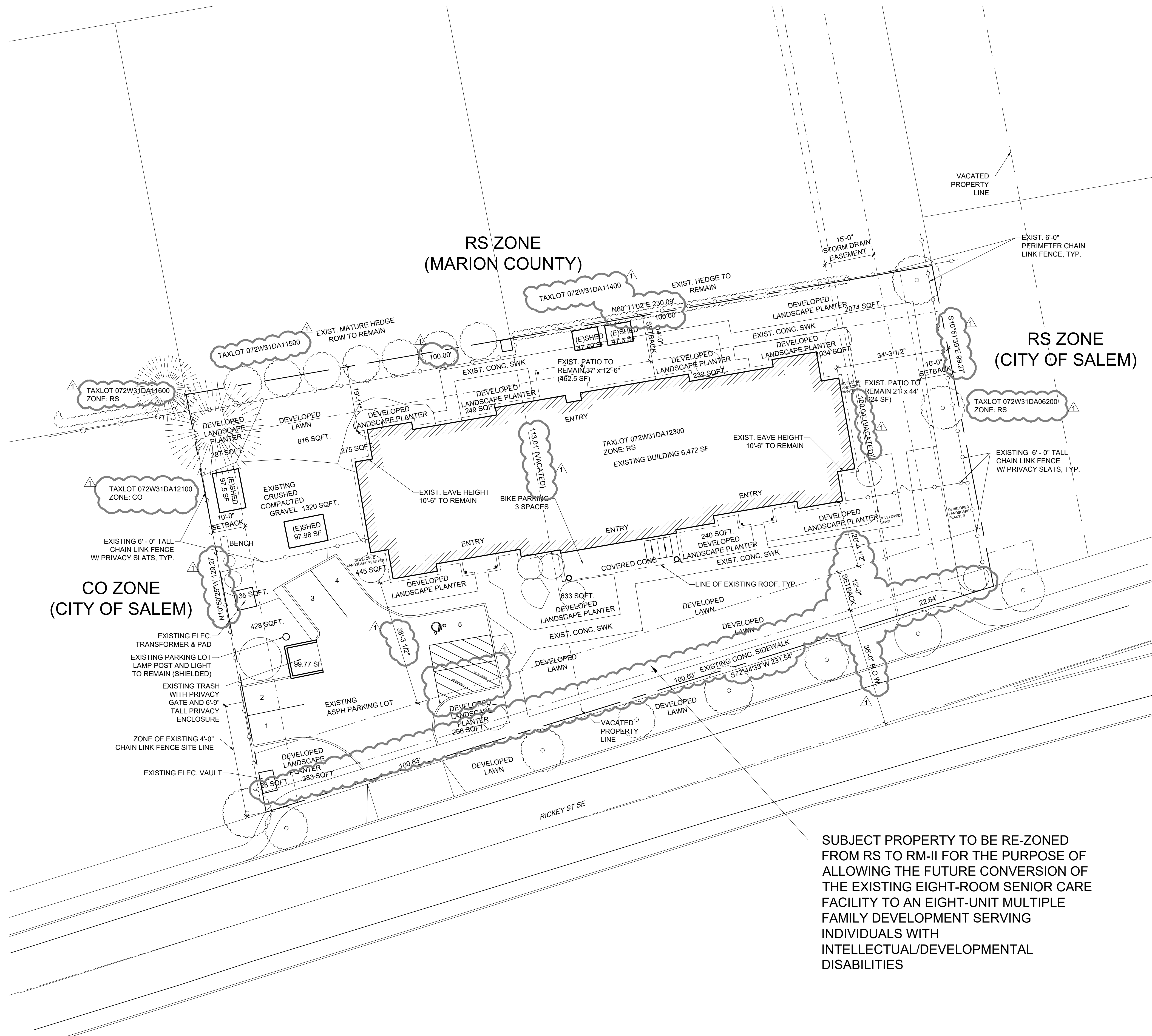
-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



0 100 200 400 Feet



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SITE INFORMATION (SEE SURVEY FOR UTILITY LOCATIONS, TAXLOT INFORMATION)

TOTAL SITE AREA = 0.601 ACRE = 26,180 SF

AREA OF EXISTING STRUCTURES = 6,472 S.F. (MAIN BUILDING) +
387 S.F. (TOTAL OUT BUILDINGS (4))
TOTAL = 6,859 S.F.

EXISTING LANDSCAPE TOTAL COVERAGE = 10,995 SF (LAWNS & LANDSCAPE PLANTERS)

EXISTING UTILITY YARD = 1,320SF (GRAVEL)

EXISTING VAULTS & UTILITY PADS = 63 SF

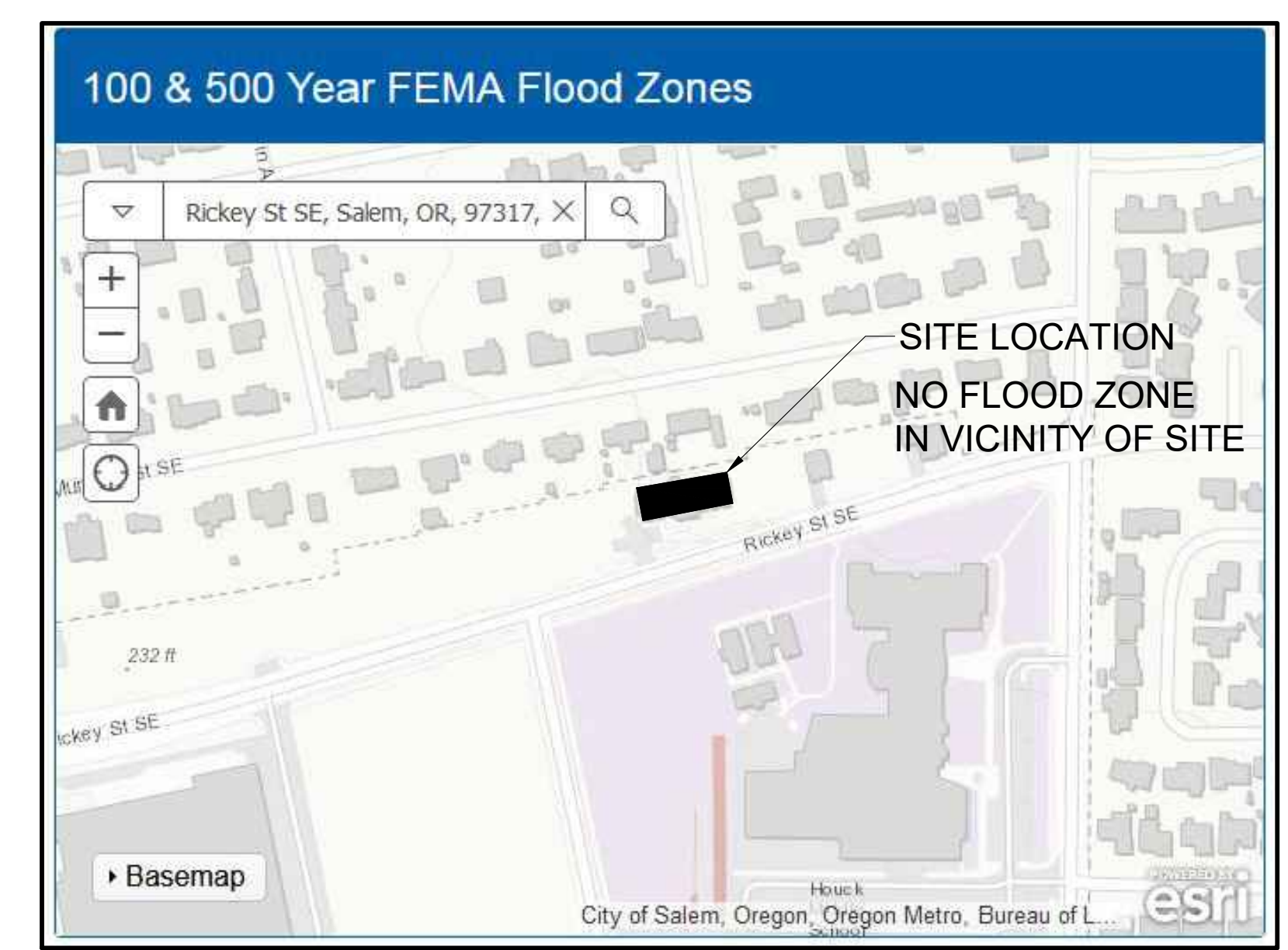
EXISTING IMPERVIOUS PAVING TOTAL COVERAGE = 6,943 SF
(PARKING LOT, CURBS SIDEWALKS AND PATIOS)



CONSULTANT

REVISIONS
▲ 2022-10-03 SPR COMMENTS

KEY PLAN



SUBJECT PROPERTY TO BE RE-ZONED FROM RS TO RM-II FOR THE PURPOSE OF ALLOWING THE FUTURE CONVERSION OF THE EXISTING EIGHT-ROOM SENIOR CARE FACILITY TO AN EIGHT-UNIT MULTIPLE FAMILY DEVELOPMENT SERVING INDIVIDUALS WITH INTELLECTUAL/DEVELOPMENTAL DISABILITIES

DESC: SITE PLAN DESCRIPTION

PROJECT: THE GROTTO

ADDRESS: 4375 RICKEY ST. SE SALEM, OR 97317

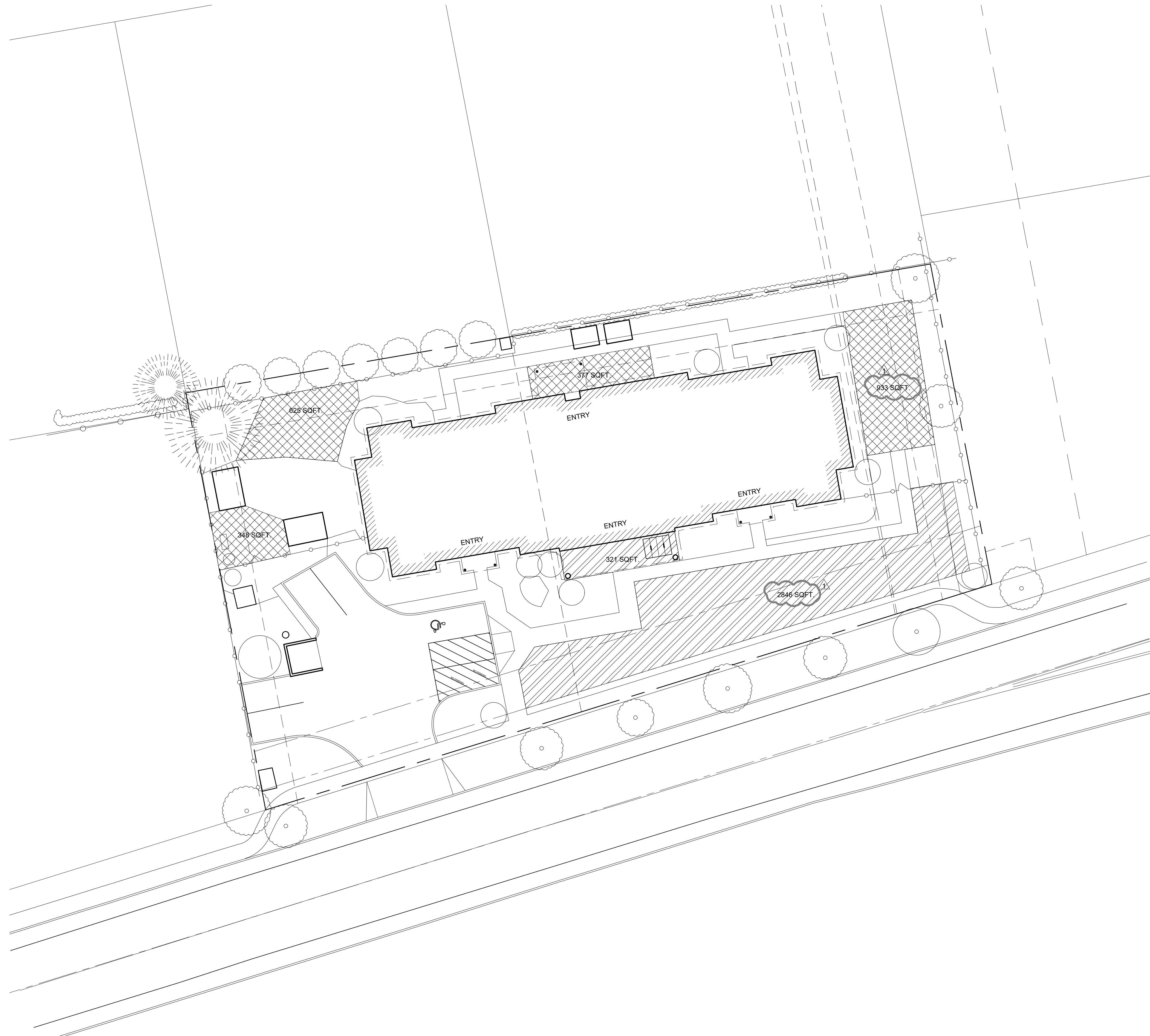


JOB DWG OF 1
DRAWN: DATE: 06-17-22

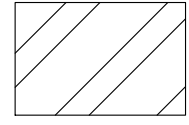
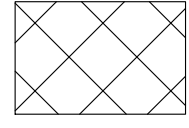
TITLE: EXISTING SITE PLAN

SHEET: A0.1

ISSUE: SITE PLAN REVIEW



LEGEND

-  AREA OF COMMON OPEN SPACE
-  AREA OF PRIVATE OPEN SPACE

SITE INFORMATION


TOTAL OPEN SPACE = 5,767 SF

TOTAL PRIVATE OPEN SPACE = 2,283 SF 

TOTAL COMMON OPEN SPACE = 3,171 SF



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REVISIONS
 2022-10-03 SPR COMMENTS

KEY PLAN

DESC: SITE PLAN DESCRIPTION

PROJECT **THE GROTTO**

ADDRESS 4375 RICKEY ST. SE
 SALEM, OR 97317

STAMP

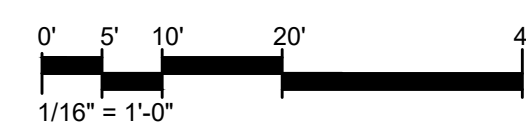


JOB DWG OF 1

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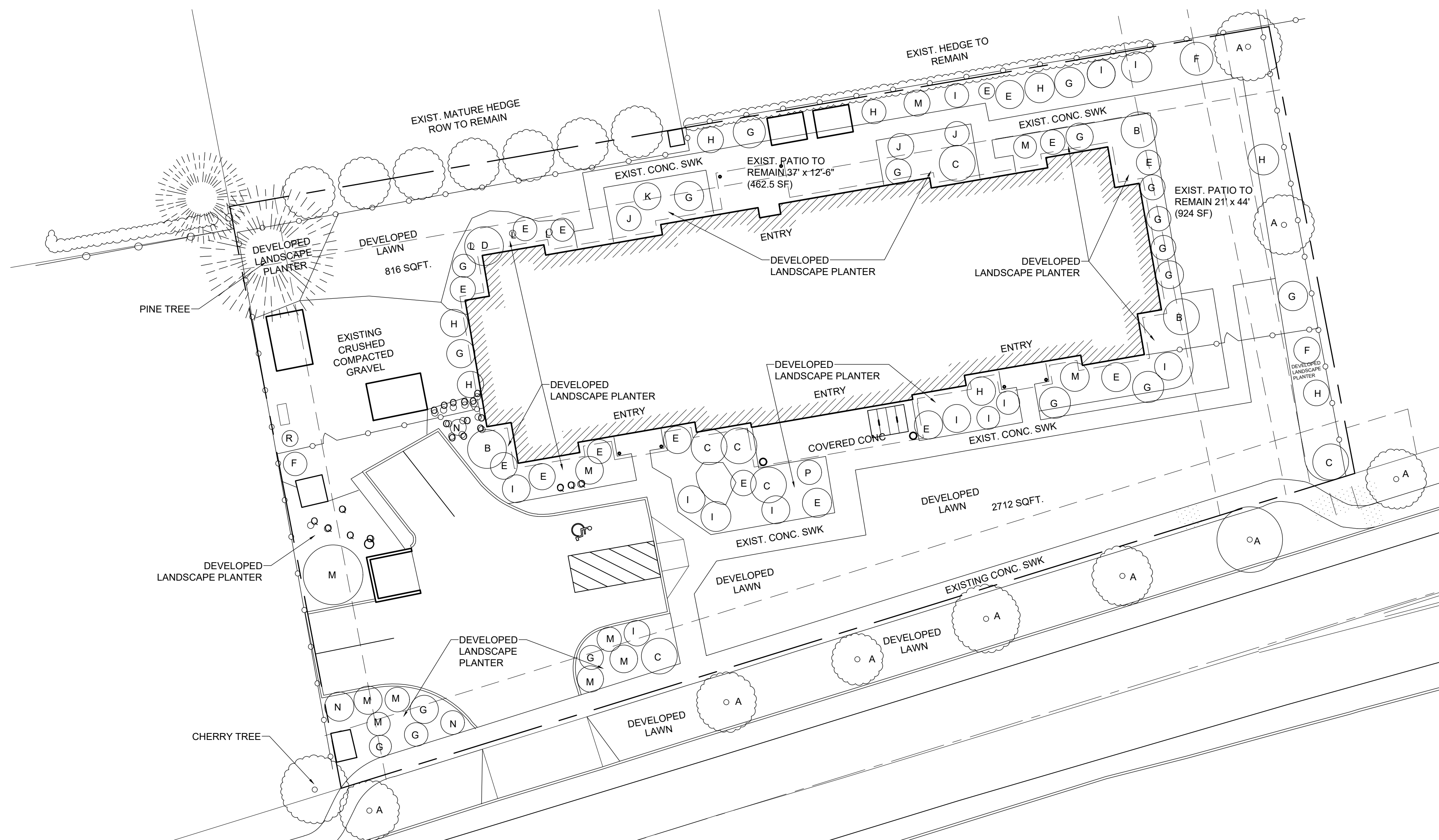
TITLE **OPEN SPACE PLAN**

1 OPEN SPACE PLAN
 A0.3 SCALE: 1/16" = 1' - 0"



SHEET **A0.3**

ISSUE **SITE PLAN REVIEW**



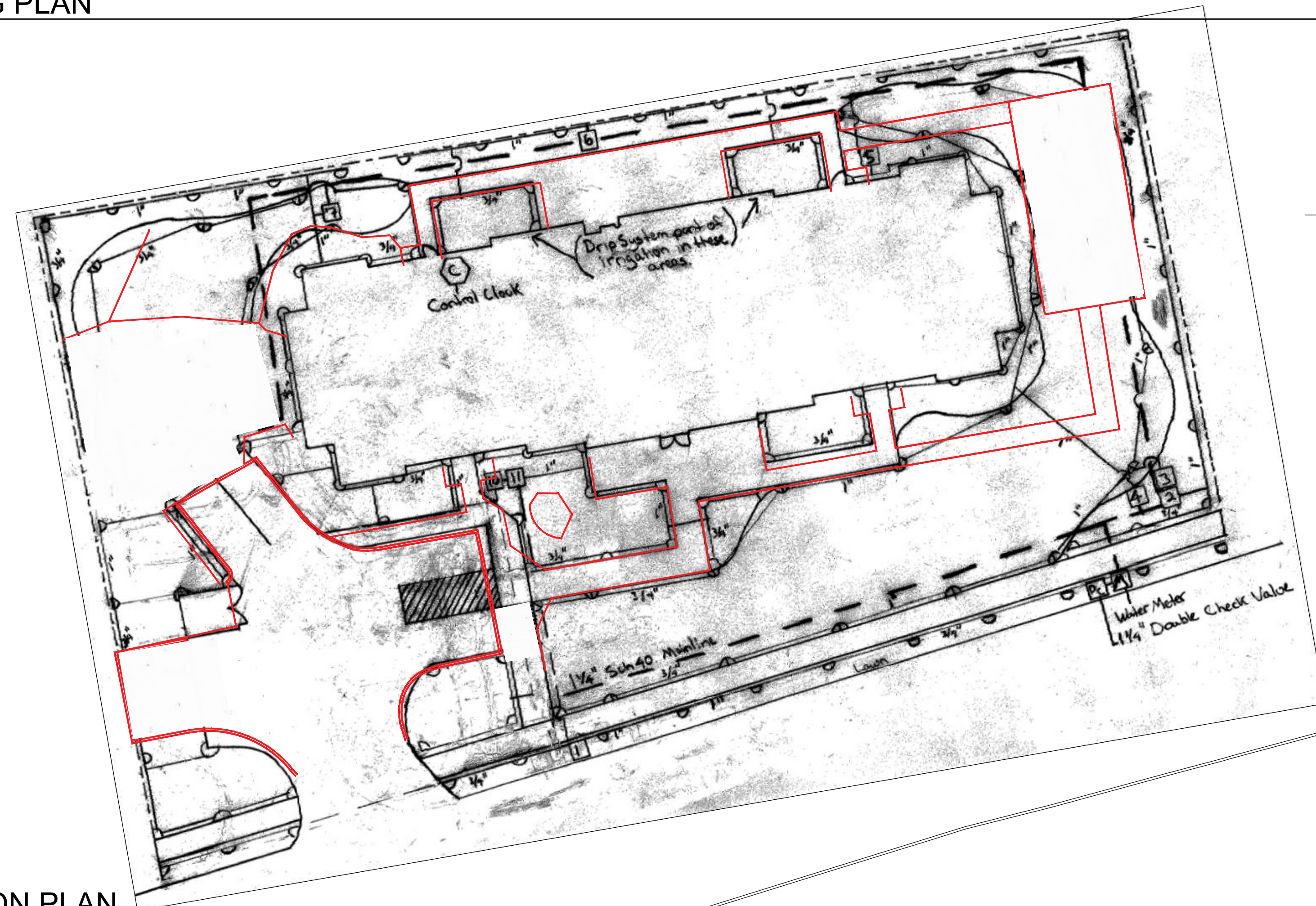
EXISTING TREE & SHRUB LIST (PLANTING ESTABLISHED)

A.	9	PRUNUS X BLEIRIANA	135PU FLOWERING PLUM (PLANTED 2001)
B.	3	CORNUS KOUSA	30PU FLOWERING DOGWOOD (PLANTED 2001)
C.	6	ACER PALMATUM	60PU JAPANESE MAPLE (PLANTED 2001)
D.	1	PICEA PUNG. 'GLAUCA'	5PU COLORADO BLUE SPRUCE (PLANTED 2001)
E.	15	RHODODENDRON SPP.	15PU RHODODENDRON SPP. (PLANTED 2001)
F.	3	CAMELLIA JAPONICA	3PU JAPANESE CAMELLIA (PLANTED 2001)
G.	18	VIBURNUM DAVIDIL	18PU DAVID VIBURNUM (PLANTED 2001)
H.	8	EOUNYMOUS JAPONICA	8PU JAPANESE EUONYMOUS (PLANTED 2001)
I.	12	PIERIS JAPONICA 'NANA'	12PU DWARF ANDROMIDA (PLANTED 2001)
J.	3	HYDRANGEA SPP.	3PU HYDRANGEA 'OR. PRIDE' (PLANTED 2001)
K.	1	HOSTA MARGINATA	1PU VARIEGATED HOSTA (PLANTED 2001)
L.	3	POLYSTICHUM MUNITUM	3PU SWORD FERN (PLANTED 2001)
M.	11	NANDINA DOMESTICA 'DW'	11PU DWARF NANDINA (PLANTED 2001)
N.	2	EUONYMOUS ALATA	2PU BURNING BUSH (PLANTED 2001)
O.	12		12PU PRAIRIE WINKLE (PLANTED 2001)
P.	1		1PU PHORMIUM TENAX (PLANTED 2001)
Q.	8		8PU ORNAMENTAL GRASS (PLANTED 2001)
R.	1		1PU ROSE BUSH (PLANTED 2001)

LANDSCAPE INFORMATION

DEVELOPED LAWN = 3,528 SQFT. = 71PU
 EXISTING TOTAL PLANTING UNITS = 399 PU
 399 PU TO REMAIN
 EXISTING STREET TREES = 8
 8 TO REMAIN

1 EXISTING PLANTING PLAN
 A0.2 SCALE: 1/16" = 1' - 0"



IRRIGATION GENERAL NOTES

IRRIGATION AT ALL LANDSCAPE BEDS AND ALL LAWN AREAS. NOT ALL HEADS COULD BE ACCOUNTED FOR IN FRONT LAWN AREA, HOWEVER, DUE TO CONSISTENT HEALTH OF LAWN, IRRIGATION SYSTEM ASSUMED TO BE PRESENT.

2 EXISTING IRRIGATION PLAN
 A0.2 SCALE: NTS



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REVISIONS

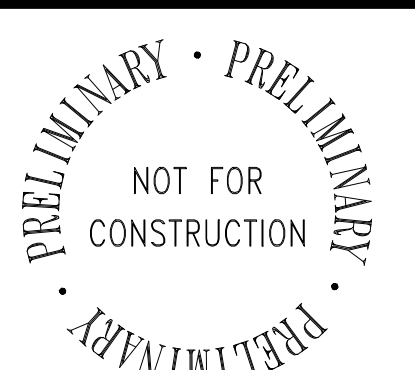
KEY PLAN

DESC. SITE PLAN DESCRIPTION

PROJECT THE GROTTO

ADDRESS 4375 RICKEY ST. SE SALEM, OR 97317

STAMP

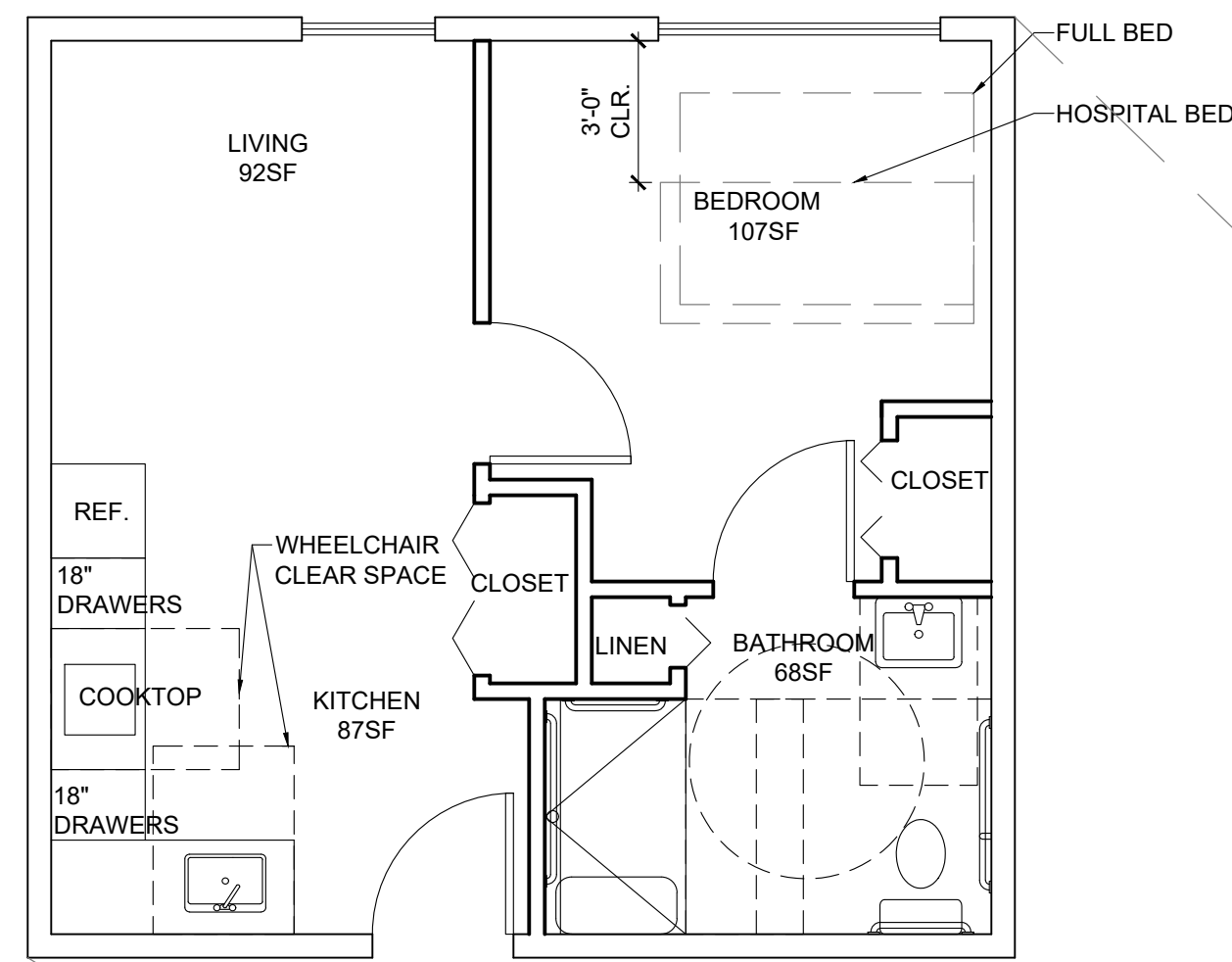


JOB DWG OF 1
 DRAWN: DATE: 06-10-22

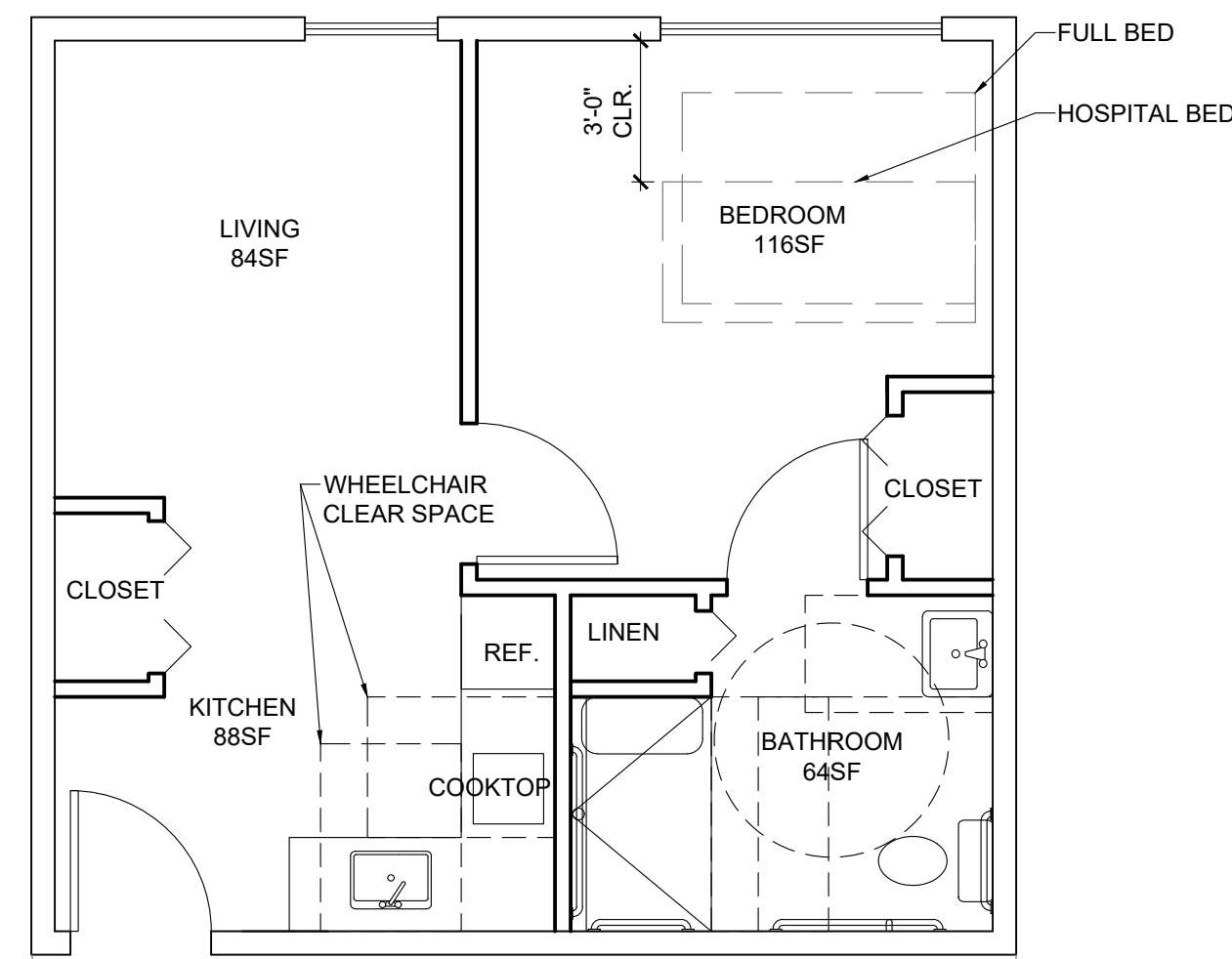
TITLE EXISTING PLANTING PLAN & IRRIGATION PLAN

SHEET A0.2

ISSUE SITE PLAN REVIEW



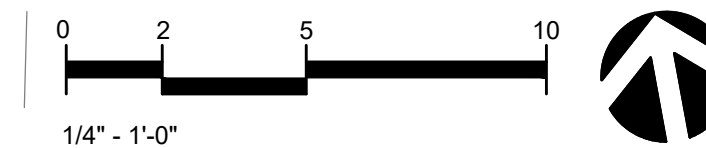
FUTURE UNIT OPTION 1
380SF



FUTURE UNIT OPTION 2
380SF

1 FUTURE UNIT FLOOR PLAN OPTIONS

A1.1 SCALE: 1/4" = 1' - 0"



ANDERSON SHIRLEY
ARCHITECTS
695 COMMERCIAL ST. SE SUITE 5 SALEM, OR 97301
OFFICE: 503-371-1140 FAX: 503-364-6751

CONSULTANT

REVISIONS
2022-10-03 SPR COMMENTS

KEY PLAN

DESC: SITE PLAN DESCRIPTION

PROJECT THE GROTTO

ADDRESS 4375 RICKEY ST. SE
SALEM, OR 97317

STAMP



JOB DWG OF 1
DRAWN: DATE: 06-17-22

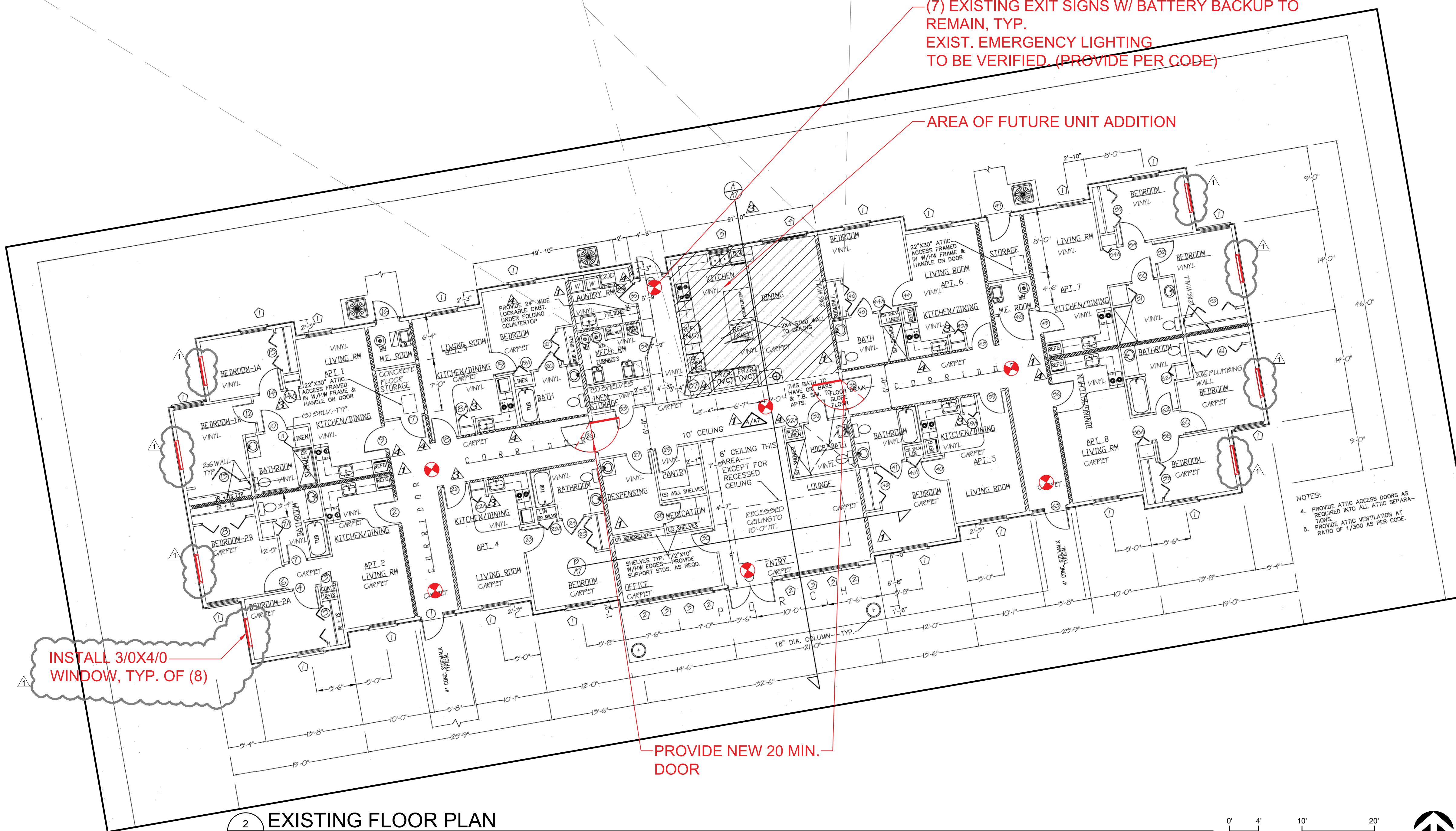
TITLE EXISTING FLOOR PLAN
AND NEW UNIT PLAN

SHEET A1.1

ISSUE SITE PLAN REVIEW

(7) EXISTING EXIT SIGNS W/ BATTERY BACKUP TO
REMAIN, TYP.
EXIST. EMERGENCY LIGHTING
TO BE VERIFIED. (PROVIDE PER CODE)

AREA OF FUTURE UNIT ADDITION

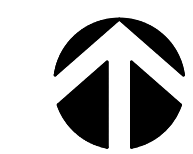
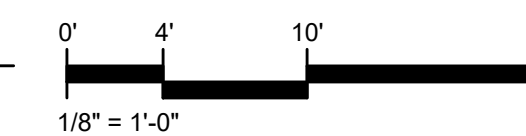


INSTALL 3/0X4/0
WINDOW, TYP. OF (8)

PROVIDE NEW 20 MIN.
DOOR

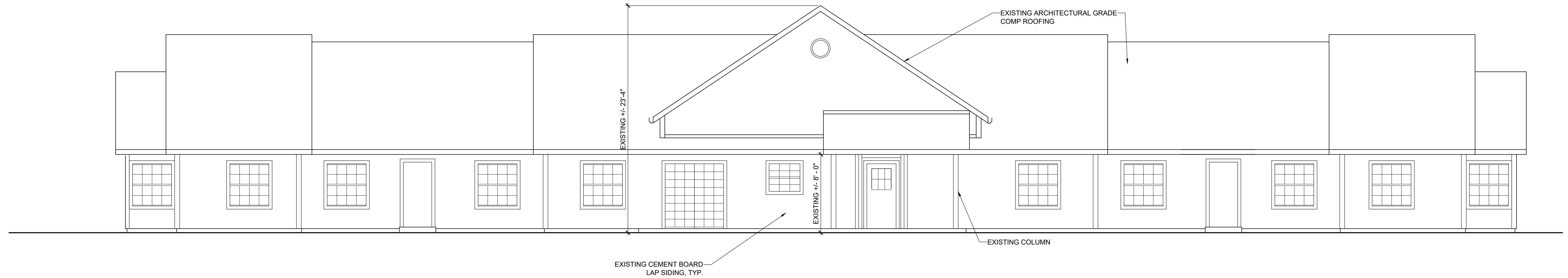
2 EXISTING FLOOR PLAN

A1.1 SCALE: 1/8" = 1' - 0"

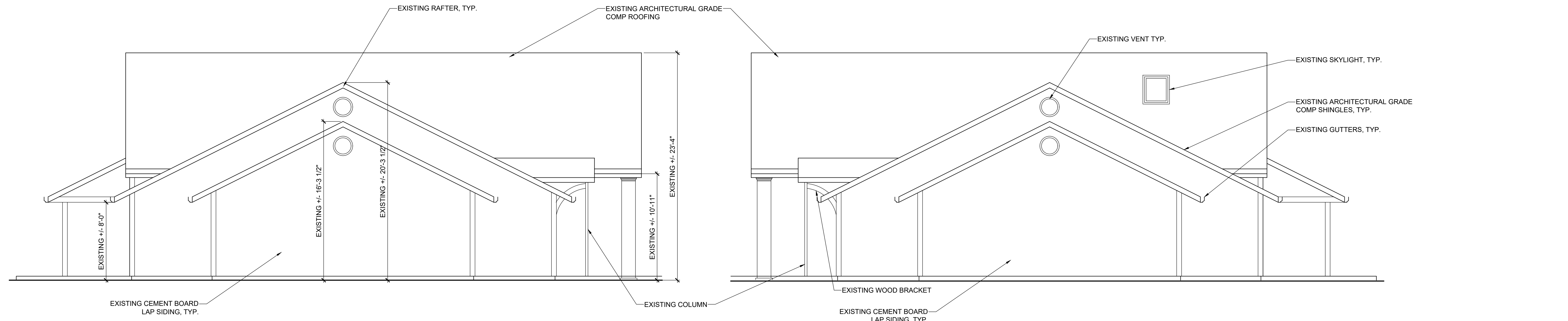




1 SOUTH ELEVATION
A3.1 SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
A3.1 SCALE: 3/16" = 1'-0"



3 WEST ELEVATION
A3.1 SCALE: 3/16" = 1'-0"

4 EAST ELEVATION
A3.1 SCALE: 3/16" = 1'-0"



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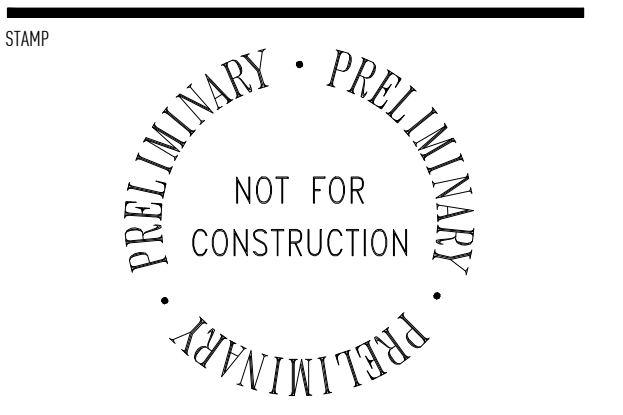
REVISIONS

KEY PLAN

DESC. SITE PLAN DESCRIPTION

PROJECT THE GROTTO

ADDRESS 4375 RICKEY ST. SE SALEM, OR 97317



JOB DWG 061
DRAWN: DATE: 06-10-22

TITLE EXISTING EXTERIOR ELEVATIONS

SHEET A3.1

ISSUE SITE PLAN REVIEW