



# HEARING NOTICE

## LAND USE REQUEST AFFECTING THIS AREA

*There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.*

*Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213*

<b>CASE NUMBER:</b>	Minor Comprehensive Plan Map Amendment / Zone Change / Conditional Use Permit / Urban Growth Preliminary Declaration / Class 3 Site Plan Review / Class 2 Adjustment / Class 2 Driveway Approach Permit / Class 1 Design Review Case No. CPC-ZC-CU-UGA-SPR-ADJ-DAP-DR23-01
<b>PROPERTY LOCATION:</b>	1851 Cordon Road SE, Salem OR 97317
<b>SUMMARY:</b>	Proposed 396-unit multiple family residential development with associated off-street parking, common open space, and site improvements.
<b>HEARING INFORMATION:</b>	<b><u>Planning Commission, Tuesday, April 4, 2023, at 5:30 p.m., Council Chambers, Room 240, Civic Center, 555 Liberty Street SE, Salem, OR 97301</u></b>  To view the meeting LIVE on YouTube please visit this link with any computer, tablet, or smart phone: <a href="http://bit.ly/planningpublicmeetings">http://bit.ly/planningpublicmeetings</a>
<b>HOW TO PROVIDE TESTIMONY:</b>	Any person wishing to speak either for or against the proposed request may do so in person or by representative at the Public Hearing. Prior to the Public Hearing, written comments should be directed to the case manager listed below. Staff recommends emailing to ensure receipt before the public hearing. Only those participating by submitting written testimony, or by testifying at the hearing, have the right to appeal the decision. <u>Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number.</u>
<b>CASE MANAGER:</b>	<b>Bryce Bishop, Planner III</b> , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, OR 97301. Telephone: 503-540-2399; E-mail: <a href="mailto:bbishop@cityofsalem.net">bbishop@cityofsalem.net</a> .
<b>NEIGHBORHOOD ASSOCIATION:</b>	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i>  Southeast Mill Creek Association (SEMCA), Alan Rasmussen, Land Use Chair; Phone: 503-930-1968; Email: <a href="mailto:arasmussen@modernbuildingsystems.com">arasmussen@modernbuildingsystems.com</a> .
<b>STAFF REPORT:</b>	The Staff Report will be available seven (7) days prior to the hearing and will thereafter be posted on the Hearing Body's website under Agendas and Minutes: <a href="https://www.cityofsalem.net/government/boards-commissions/commissions/salem-planning-commission">https://www.cityofsalem.net/government/boards-commissions/commissions/salem-planning-commission</a>
<b>ACCESS:</b>	Americans with Disabilities Act (ADA) accommodations will be provided on request.

<b>CRITERIA:</b>	<p>Salem Revised Code (SRC) Chapter(s) 64.025(e)(2) – Comprehensive Plan Map Amendment; 265.005(e) – Zone Change; 240.005(d) – Conditional Use Permit; 200.025 (d) &amp; (e) – Urban Growth Preliminary Declaration; 220.005(f)(3) – Class 3 Site Plan Review; 250.005(d)(2) – Class 2 Adjustment; 804.025(d) – Class 2 Driveway Approach Permit; 225.005(e)(1) – Class 1 Design Review</p> <p>Salem Revised Code (SRC) is available to view at this link: <a href="http://www.cityofsalem.net/src">www.cityofsalem.net/src</a>. Type in the chapter number(s) listed above to view the applicable criteria.</p>
<b>OWNER(S):</b>	Kevin Harrison, KCH Enterprises LLC
<b>APPLICANT / AGENT(S):</b>	Brandie Dalton, Multi-Tech Engineering, on behalf of KCH Enterprises LLC
<b>PROPOSAL / REQUEST:</b>	<p>A consolidated application for a proposed 396-unit multiple family residential development with associated off-street parking, common open space, and site improvements on property totaling approximately 23.3 acres in size. The application includes:</p> <ol style="list-style-type: none"> <li>1) A Minor Comprehensive Plan Map Amendment from "Industrial" to "Industrial Commercial" and Quasi-Judicial Zone Change from RA (Residential Agriculture) to IC (Industrial Commercial) for an approximate 2.78-acre portion of the property (Marion County Assessor Map and Tax Lot Number: 082W050000300);</li> <li>2) A Conditional Use Permit for the proposed multiple family development;</li> <li>3) An Urban Growth Preliminary Declaration to determine the necessary public facilities required to serve the development;</li> <li>4) A Class 3 Site Plan Review;</li> <li>5) Class 2 Adjustment to: <ol style="list-style-type: none"> <li>a) Allow parking to be located between Building 29 and the proposed cul-de-sac of Seattle Slew Drive SE (SRC 702.020(e)(3));</li> <li>b) Allow less than 40 percent of the buildable width of the street frontage of the subject property adjacent to Cordon Road SE, proposed A Street, and the cul-de-sac of Seattle Slew Drive SE to be occupied by buildings placed at the setback line (SRC 702.020(e)(4)); and</li> <li>c) Allow ground-level dwelling units located within 25 feet of the property line abutting a street to be developed without an architecturally defined primary building entrance facing the street with a direct pedestrian access to the adjacent sidewalk (SRC 702.020(e)(5));</li> </ol> </li> <li>6) A Class 2 Driveway Approach Permit for the proposed driveway approaches serving the development onto proposed A Street; and</li> <li>7) A Class 1 Design Review to determine the proposed development's conformance with the applicable multiple family design review standards of SRC 702.020;</li> </ol> <p>The subject property is zoned IC (Industrial Commercial) and RA (Residential Agriculture) and located at 1851 Cordon Road SE (Marion County Assessor Map and Tax Lot Numbers: 082W050000200, 082W050000300, 082W050000400, 082W050000401, and 082W050000500).</p>
<b>HEARING PROCEDURE:</b>	<p>The hearing will be conducted with the staff presentation first, followed by the applicant's case, neighborhood organization comments, testimony of persons in favor or opposition, and rebuttal by the applicant, if necessary. The applicant has the burden of proof to show that the approval criteria can be satisfied by the facts. Opponents may rebut the applicant's testimony by showing alternative facts or by showing that the evidence submitted does not satisfy the approval criteria. A hearing is not a venue to ask questions of staff, the applicant, or the decision maker(s) on this case but rather an opportunity to provide testimony to the decision maker(s) on the merits of the land use case; questions about the application, the recommended conditions of approval, or the Planning Administrator's recommendation, should be directed to the Case Manager prior to the hearing.</p>

Any participant may request an opportunity to present additional evidence or testimony regarding the application. A ruling will then be made to either continue the Public Hearing to another date or leave the record open to receive additional written testimony. Failure to raise an issue in person or by letter prior to the close of the Public Hearing with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.

Following the close of the Public Hearing a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who participated in the hearing, either in person or in writing, and anyone who requested to receive notice of the decision.

**MORE INFORMATION:**

All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at <https://permits.cityofsalem.net>. You can use the search function without registering and enter the permit number listed here: 22-104460. Paper copies can be obtained for a reasonable cost.

**NOTICE MAILING DATE:**

March 15, 2023

***PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE.***

***For more information about Planning in Salem:***

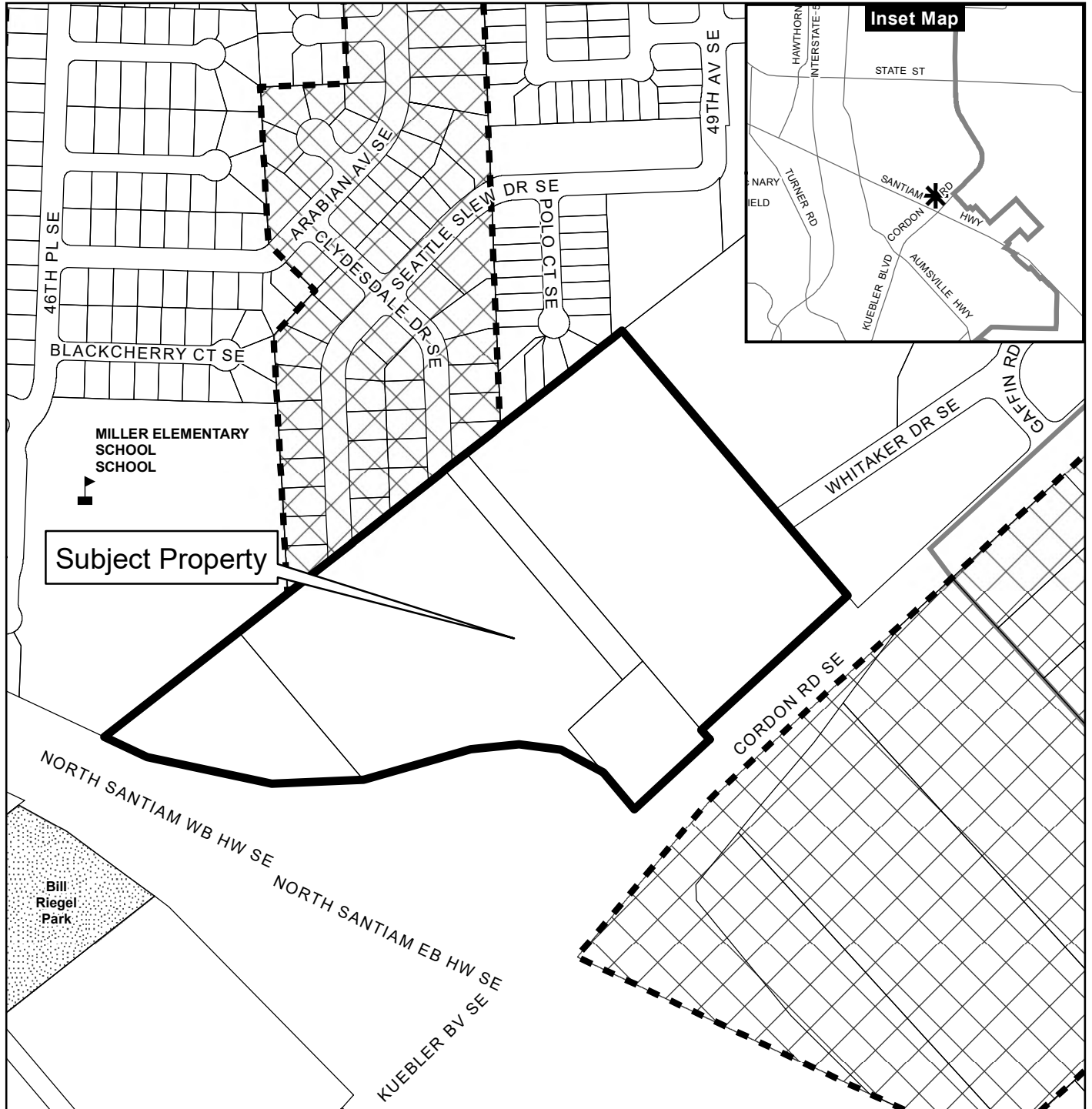
**<http://www.cityofsalem.net/planning>**

*It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community*

*Development Department at 503-588-6173 at least three business days before this meeting or event.*

*TTD/TTY telephone 503-588-6439 is also available 24/7*

# Vicinity Map 1851 Cordon Road SE



## Legend

- |                       |                           |       |
|-----------------------|---------------------------|-------|
| Taxlots               | Outside Salem City Limits | Parks |
| Urban Growth Boundary | Historic District         |       |
| City Limits           | Schools                   |       |



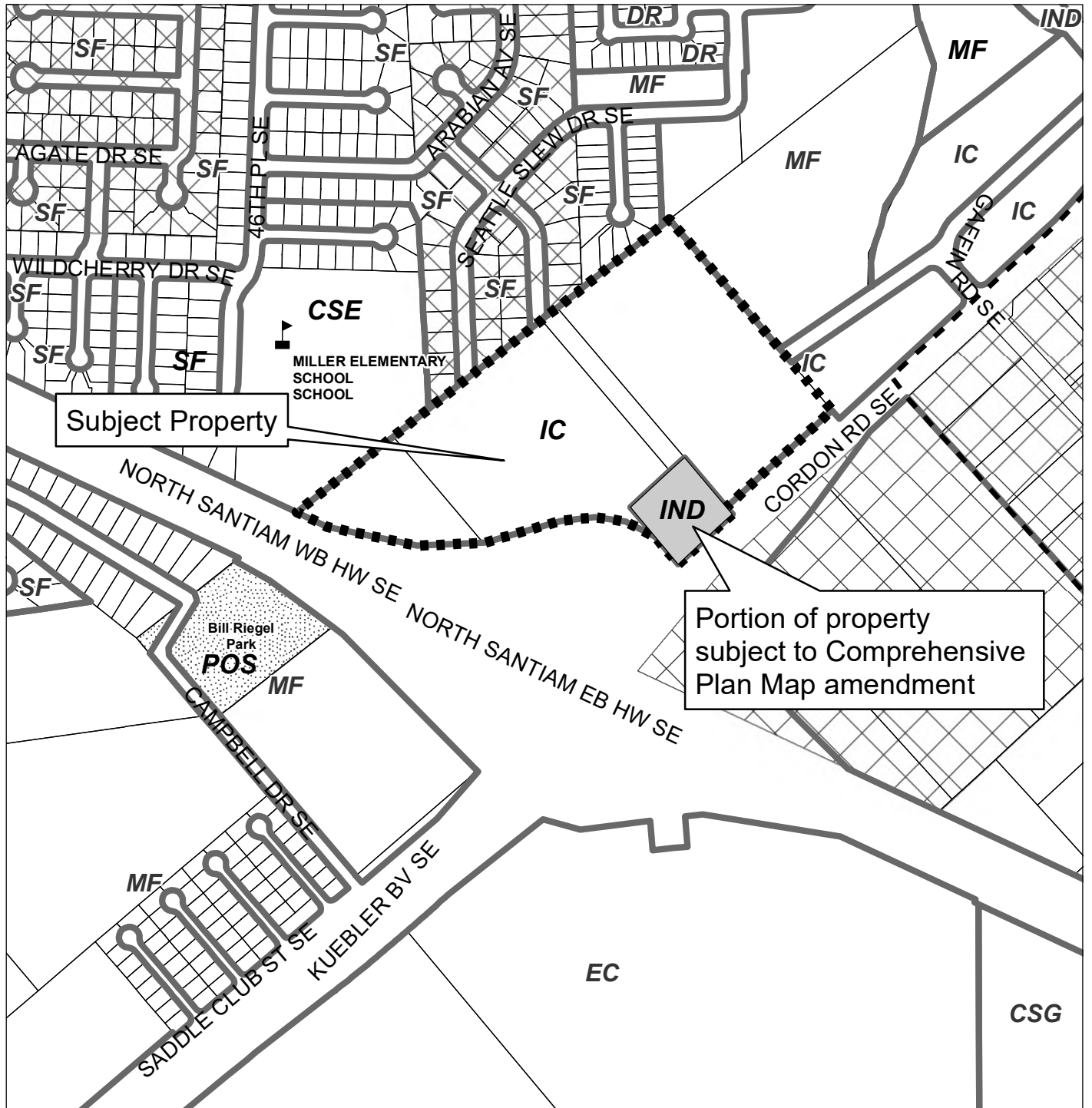
0 100 200 400 Feet



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# Comprehensive Plan Map

(Proposed Comprehensive Plan Map Amendment:  
Industrial to Industrial Commercial)



Subject Property

Portion of property subject to Comprehensive Plan Map amendment

### Legend

- Comprehensive Plan
- Urban Growth Boundary
- Outside Salem City Limits
- Taxlots
- Parks
- Schools

0 50 100 200 Feet

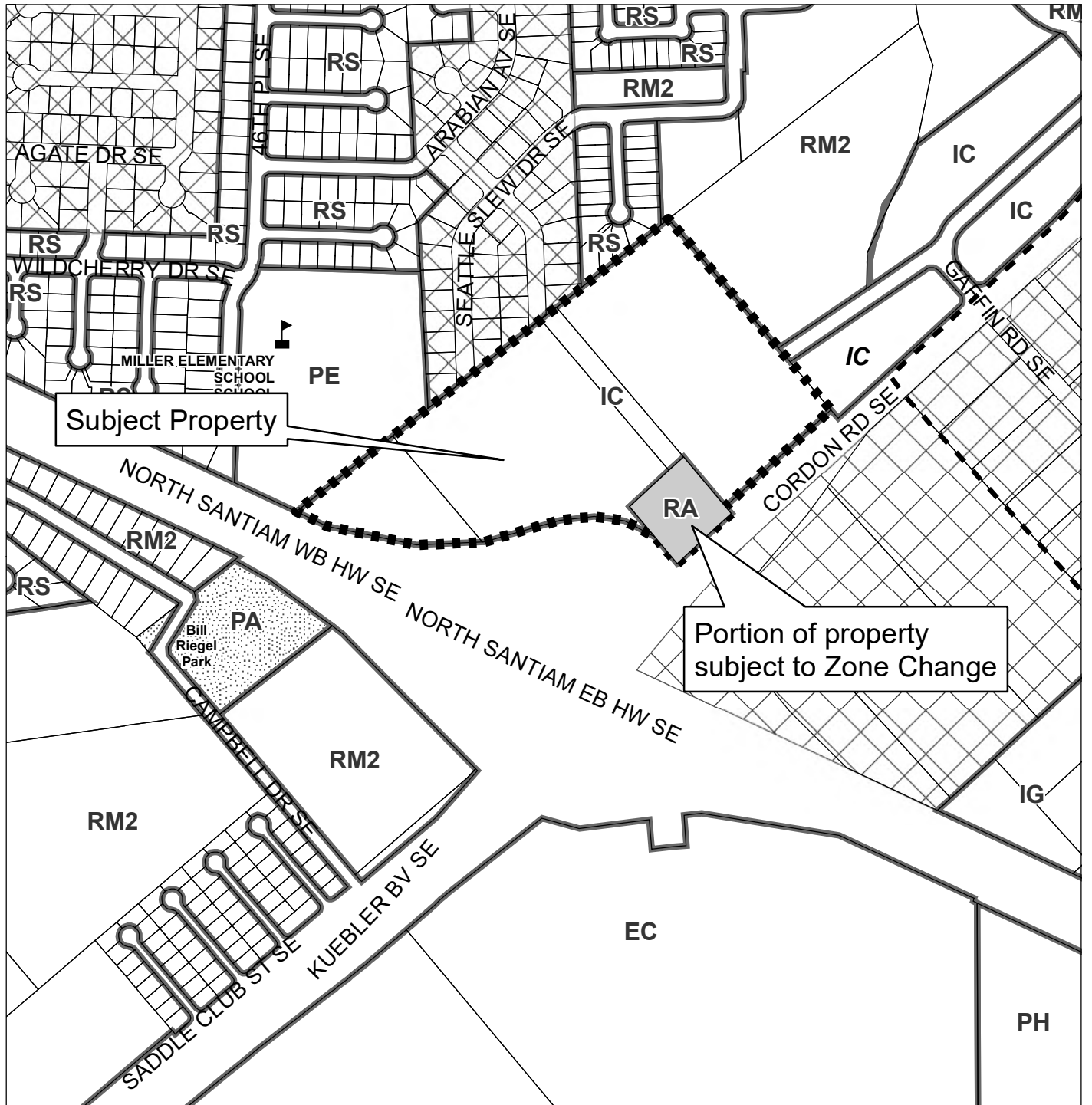


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CITY OF *Salem*  
AT YOUR SERVICE  
Community Development Dept.

# Zoning Map

(Proposed Zone Change:  
RA (Residential Agriculture) to IC (Industrial Commercial))



## Legend

- Comprehensive Plan
- Urban Growth Boundary
- Outside Salem City Limits
- Taxlots
- Parks
- Schools

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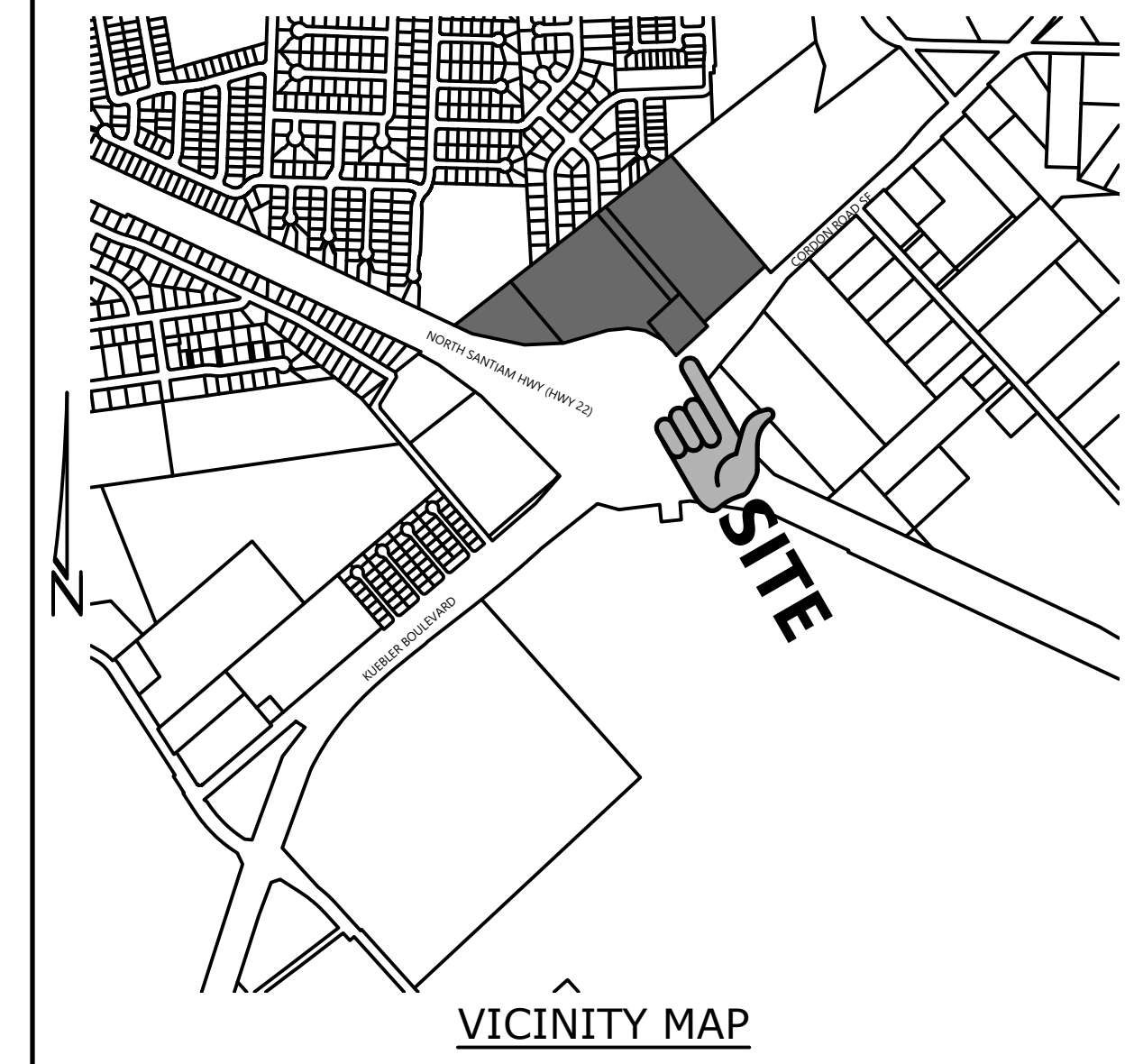
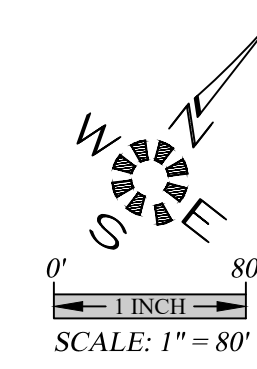
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Community Development Dept.

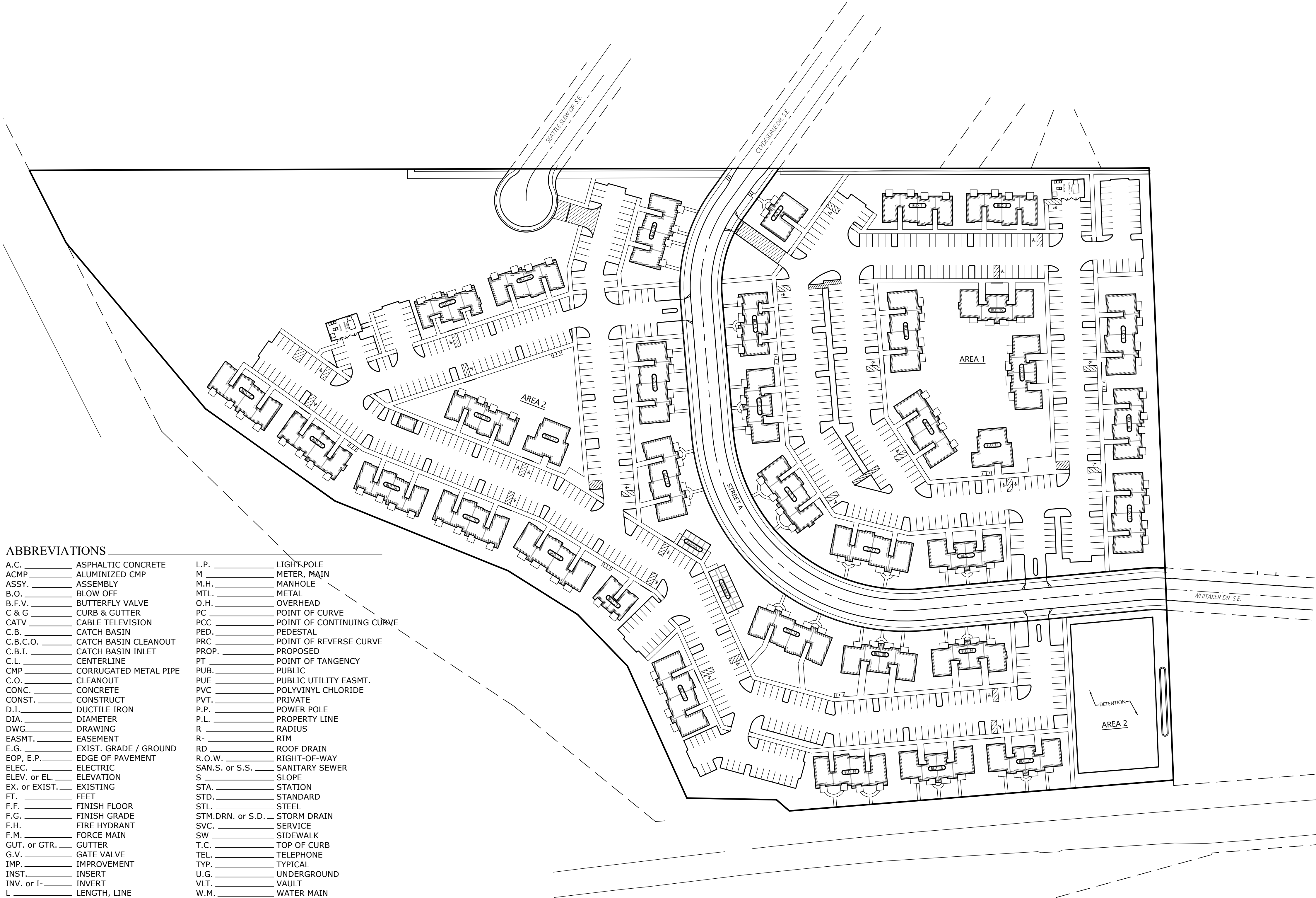
# HAWK'S RIDGE APARTMENTS PH. 3

SEC. 5, T. 8 S., R. 2 W., W.M.  
CITY OF SALEM  
MARION COUNTY, OREGON



**MULTI/TECH**  
ENGINEERING SERVICES, INC.  
1155 13TH ST., S.E. SALEM, OR. 97302  
PH. (503) 383-9227 FAX (503) 384-1280  
www.esincorp.com email: info@esincorp.com

**COVER SHEET**



**T.B.M. 100.00**  
THIS IS THE DESCRIPTION & LOCATION OF THE T.B.M. ELEVATION MARKER.  
THIS IS THE DESCRIPTION & LOCATION OF THE NEAREST B.M. ELEVATION MARKER WITH THE ELEVATION OF THAT B.M.

Owner / Developer:  
**KCH ENTERPRISES, LLC**  
10355 LIBERTY ROAD S  
SALEM, OREGON 97306

ABBREVIATIONS	
A.C.	ASPHALTIC CONCRETE
ACMP	ALUMINIZED CMP
ASSY.	ASSEMBLY
B.O.	BLOW OFF
B.F.V.	BUTTERFLY VALVE
C & G	CURB & GUTTER
CATV	CABLE TELEVISION
C.B.	CATCH BASIN
C.B.C.O.	CATCH BASIN CLEANOUT
C.B.I.	CATCH BASIN INLET
C.L.	CENTERLINE
CMP	CORRUGATED METAL PIPE
C.O.	CLEANOUT
CONC.	CONCRETE
CONST.	CONSTRUCT
D.I.	DUCTILE IRON
DIA.	DIAMETER
DWG.	DRAWING
EASMT.	EASEMENT
E.G.	EXIST. GRADE / GROUND
EOP, E.P.	EDGE OF PAVEMENT
ELEC.	ELECTRIC
ELEV. or EL.	ELEVATION
EX. or EXIST.	EXISTING
FT.	FEET
F.F.	FINISH FLOOR
F.G.	FINISH GRADE
F.H.	FIRE HYDRANT
F.M.	FORCE MAIN
GUT. or GTR.	GUTTER
G.V.	GATE VALVE
IMP.	IMPROVEMENT
INST.	INSERT
INV. or I-	INVERT
L	LENGTH, LINE
L.P.	LIGHT-POLE
M	METER, MAIN
M.H.	MANHOLE
MTL.	METAL
O.H.	OVERHEAD
PC	POINT OF CURVE
PCC	POINT OF CONTINUING CURVE
PED.	PEDESTAL
PRC	POINT OF REVERSE CURVE
PROP.	PROPOSED
PT	POINT OF TANGENCY
PUB.	PUBLIC
PUE	PUBLIC UTILITY EASMT.
PVC	POLYVINYL CHLORIDE
PVT.	PRIVATE
P.P.	POWER POLE
P.L.	PROPERTY LINE
R	RADIUS
R-	RIM
RD	ROOF DRAIN
R.O.W.	RIGHT-OF-WAY
SAN.S. or S.S.	SANITARY SEWER
S	SLOPE
STA.	STATION
STD.	STANDARD
STL.	STEEL
STM.DRN. or S.D.	STORM DRAIN
SVC.	SERVICE
SW	SIDEWALK
T.C.	TOP OF CURB
TEL.	TELEPHONE
TYP.	TYPICAL
U.G.	UNDERGROUND
VL.	VAULT
W.M.	WATER MAIN

SYMBOLS			
	BLOW OFF ASSY.		MANHOLE SAN. SEWER
	CATCH BASIN		MANHOLE STORM DRAIN
	CATCH BASIN CLEANOUT		2' DIA. C.O. / M.H.
	CATCH BASIN INLET		MANHOLE TELEPHONE
	CATV PED. / BOX		MANHOLE WATER
	CLEANOUT		REDUCER / INCREASER
	ELEC. PED. / BOX		TEL. PED. / BOX
	FIRE HYDRANT		TRAFFIC PED. / BOX
	GAS LOCATION MARKER		UTILITY / POWER POLE
	GAS VALVE		WATER METER
	MAIL BOX		WATER VALVE
	CABLE TELEVISION		SANITARY SEWER EXIST.
	CENTERLINE		SANITARY SEWER PROP.
	DITCH C.L.		STORM DRAIN EXIST.
	ELECTRICAL LINE		STORM DRAIN PROP.
	GAS MAIN		WATER MAIN EXIST.
	TELEPHONE LINE		WATER MAIN PROP.

SHEET INDEX	
SDR1	COVER SHEET
SDR2	EXISTING CONDITIONS PLAN
SDR3	SITE PLAN
SDR4	OPEN SPACE PLAN
SDR5	GRADING PLAN
SDR6	PRIVATE STORM DRAIN PLAN
SDR7	PRIVATE SANITARY SEWER PLAN
SDR8	PRIVATE DOMESTIC WATER PLAN
SDR9	PRIVATE FIRE SERVICE PLAN
L1.1	SCHEMATIC LANDSCAPE PLAN

<b>BUILDING 1 (TYPE "D" UNITS)</b>	<b>BUILDING 5 (TYPES "C" &amp; "E" UNITS)</b>
A1.3 LOWER FLOOR PLAN	A5.3 LOWER FLOOR PLAN
A1.4 MIDDLE & UPPER FLOOR PLAN	A5.4 MIDDLE FLOOR PLAN
A1.8 BUILDING ELEVATIONS	A5.5 UPPER FLOOR PLAN
	A5.9 BUILDING ELEVATIONS
<b>BUILDING 2 (TYPES "A" &amp; "B" UNITS)</b>	<b>BUILDING 6 (TYPES "A" &amp; "B" UNITS)</b>
A2.3 LOWER FLOOR PLAN	A6.3 LOWER FLOOR PLAN
A2.4 UPPER FLOOR PLAN	A6.4 MIDDLE & UPPER FLOOR PLAN
A2.8 BUILDING ELEVATIONS	A6.8 BUILDING ELEVATIONS
<b>BUILDING 3 (TYPE "D" UNITS)</b>	<b>BUILDING 7 (TYPES "C" UNITS)</b>
A3.3 LOWER FLOOR PLAN	A8.3 LOWER FLOOR PLAN
A3.4 MIDDLE & UPPER FLOOR PLAN	A8.4 MIDDLE FLOOR PLAN
A3.8 BUILDING ELEVATIONS	A8.5 UPPER FLOOR PLAN
	A8.9 BUILDING ELEVATIONS
<b>BUILDING 4 (TYPES "A" &amp; "B" UNITS)</b>	<b>BUILDING 8 (RECREATION BUILDING)</b>
A4.3 LOWER FLOOR PLAN	A7.3 LOWER FLOOR PLAN
A4.4 MIDDLE & UPPER FLOOR PLAN	A7.6 BUILDING ELEVATIONS
A4.8 BUILDING ELEVATIONS	

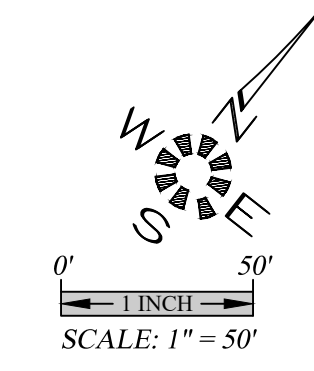
**HAWK'S RIDGE APARTMENTS  
PH. 3**

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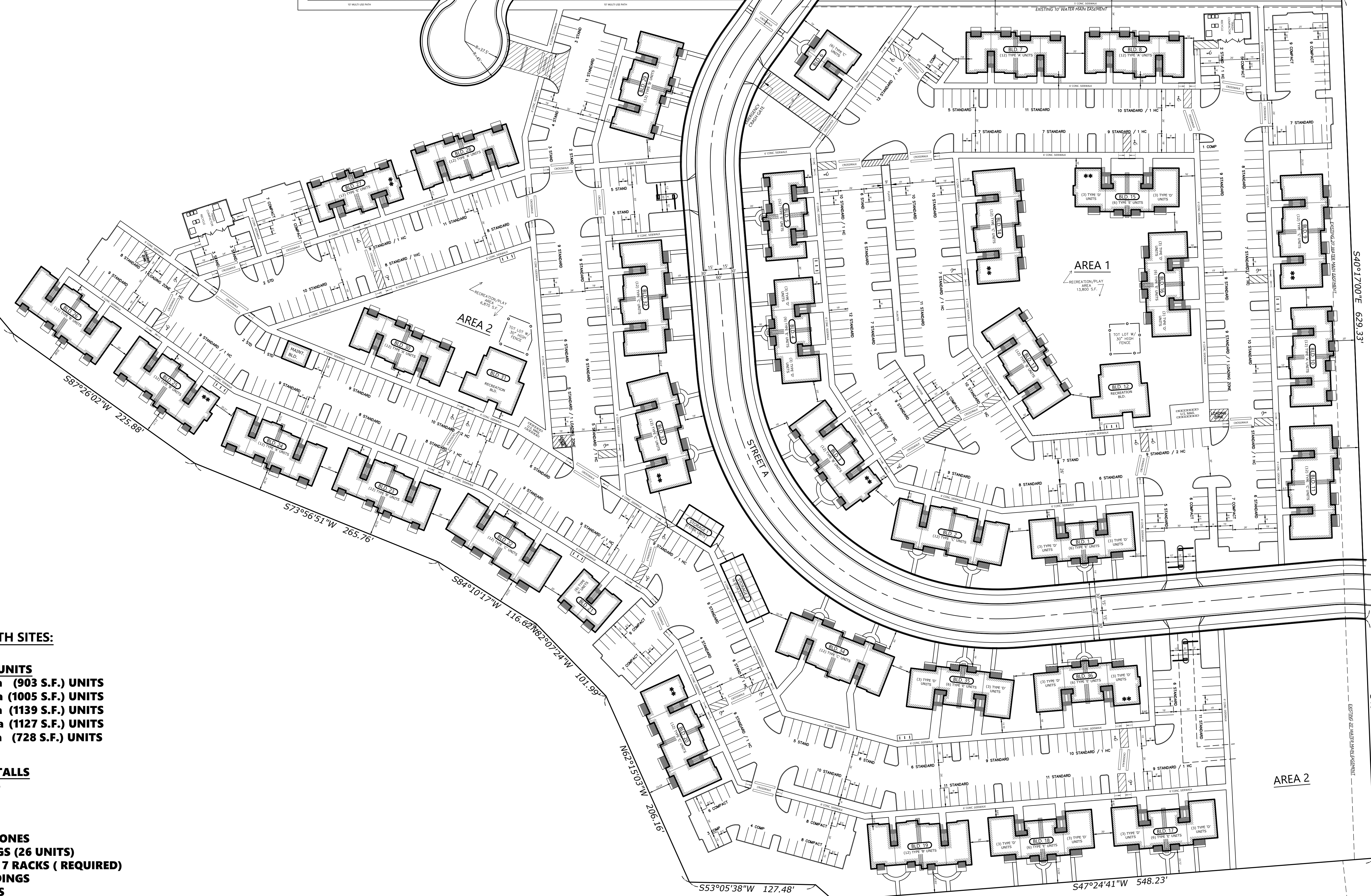
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Design: M.D.G.  
Drawn: A.R.T.  
Checked: B.M.G.  
Date: SEPT. 2021  
Scale: AS SHOWN



JOB # 7314  
**SDR1**



N51°48'59"E 683.73'      N51°56'32"E 531.00'      N51°57'20"E 341.77'      N51°35'59"E 36.69'



**OVERALL SITE PLAN**

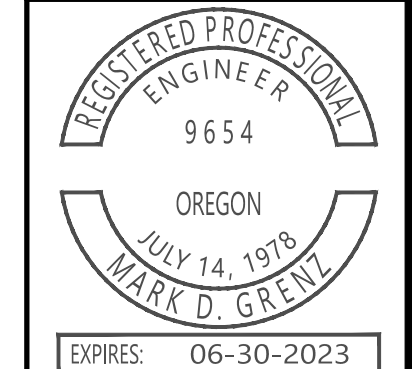
**HAWK'S RIDGE APARTMENTS  
 PH. 3**

**OVERALL TOTAL OF BOTH SITES:**

- 396 TOTAL APARTMENT UNITS**
- 78 TYPE "A" 2-Bd, 1-Ba (903 S.F.) UNITS**
- 84 TYPE "B" 2-Bd, 2-Ba (1005 S.F.) UNITS**
- 114 TYPE "C" 2-Bd, 2-Ba (1139 S.F.) UNITS**
- 48 TYPE "D" 3-Bd, 2-Ba (1127 S.F.) UNITS**
- 72 TYPE "E" 1-Bd, 1-Ba (728 S.F.) UNITS**
  
- 775 TOTAL PARKING STALLS**
- 641 STANDARD STALLS**
- 108 COMPACT STALLS**
- 26 HANDICAP STALLS**
  
- 3 12'x20' LOADING ZONES**
- 2 STORAGE BUILDINGS (26 UNITS)**
- 42 BICYCLE SPACES IN 7 RACKS (REQUIRED)**
- 2 RECREATION BUILDINGS**
- 2 RECREATION AREAS**
- 1 MAINTENANCE BUILDING**
- 2 TRASH COMPACTOR / RECYCLE**
- 2 U.S. MAIL BOX AREA**
- 3 KEY GATE ENTRY'S**
- 1 WATER QUALITY AREA**

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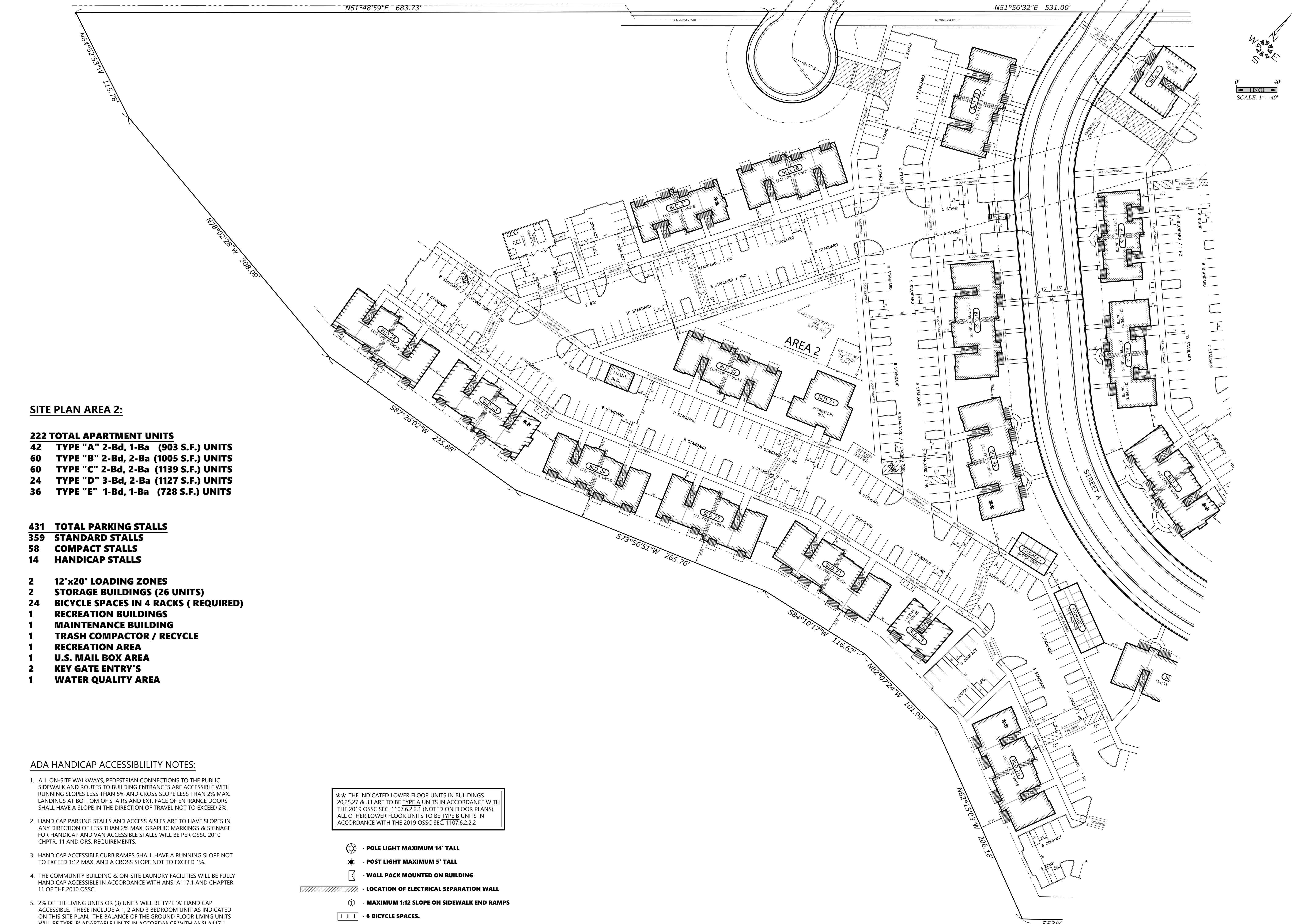
73149 - 5043-SITE  
 Design: M.D.G.  
 Drawn: A.R.T.  
 Checked: B.M.G.  
 Date: SEPT. 2021  
 Scale: AS SHOWN



JOB # 7314

**SDR3**





**SITE PLAN AREA 2**

**HAWK'S RIDGE APARTMENTS  
 PH. 3**

**SITE PLAN AREA 2:**

- 222 TOTAL APARTMENT UNITS**  
**42 TYPE "A" 2-Bd, 1-Ba (903 S.F.) UNITS**  
**60 TYPE "B" 2-Bd, 2-Ba (1005 S.F.) UNITS**  
**60 TYPE "C" 2-Bd, 2-Ba (1139 S.F.) UNITS**  
**24 TYPE "D" 3-Bd, 2-Ba (1127 S.F.) UNITS**  
**36 TYPE "E" 1-Bd, 1-Ba (728 S.F.) UNITS**

- 431 TOTAL PARKING STALLS**  
**359 STANDARD STALLS**  
**58 COMPACT STALLS**  
**14 HANDICAP STALLS**

- 2 12'x20' LOADING ZONES**  
**2 STORAGE BUILDINGS (26 UNITS)**  
**24 BICYCLE SPACES IN 4 RACKS (REQUIRED)**  
**1 RECREATION BUILDINGS**  
**1 MAINTENANCE BUILDING**  
**1 TRASH COMPACTOR / RECYCLE**  
**1 RECREATION AREA**  
**1 U.S. MAIL BOX AREA**  
**2 KEY GATE ENTRY'S**  
**1 WATER QUALITY AREA**

**ADA HANDICAP ACCESSIBILITY NOTES:**

- ALL ON-SITE WALKWAYS, PEDESTRIAN CONNECTIONS TO THE PUBLIC SIDEWALK AND ROUTES TO BUILDING ENTRANCES ARE ACCESSIBLE WITH RUNNING SLOPES LESS THAN 5% AND CROSS SLOPE LESS THAN 2%. LANDINGS AT BOTTOM OF STAIRS AND EXT. FACE OF ENTRANCE DOORS SHALL HAVE A SLOPE IN THE DIRECTION OF TRAVEL NOT TO EXCEED 2%.
- HANDICAP PARKING STALLS AND ACCESS AISLES ARE TO HAVE SLOPES IN ANY DIRECTION OF LESS THAN 2% MAX. GRAPHIC MARKINGS & SIGNAGE FOR HANDICAP AND VAN ACCESSIBLE STALLS WILL BE PER OSSC 2010 CHPTR. 11 AND ORS. REQUIREMENTS.
- HANDICAP ACCESSIBLE CURB RAMPS SHALL HAVE A RUNNING SLOPE NOT TO EXCEED 1:12 MAX. AND A CROSS SLOPE NOT TO EXCEED 1%.
- THE COMMUNITY BUILDING & ON-SITE LAUNDRY FACILITIES WILL BE FULLY HANDICAP ACCESSIBLE IN ACCORDANCE WITH ANSI A117.1 AND CHAPTER 11 OF THE 2010 OSSC.
- 2% OF THE LIVING UNITS OR (3) UNITS WILL BE TYPE 'A' HANDICAP ACCESSIBLE. THESE INCLUDE A 1, 2 AND 3 BEDROOM UNIT AS INDICATED ON THIS SITE PLAN. THE BALANCE OF THE GROUND FLOOR LIVING UNITS WILL BE TYPE 'B' ADAPTABLE UNITS IN ACCORDANCE WITH ANSI A117.1.

★★ THE INDICATED LOWER FLOOR UNITS IN BUILDINGS 20,25,27 & 33 ARE TO BE TYPE A UNITS IN ACCORDANCE WITH THE 2019 OSSC SEC. 1107.6.2.2.1 (NOTED ON FLOOR PLANS). ALL OTHER LOWER FLOOR UNITS TO BE TYPE B UNITS IN ACCORDANCE WITH THE 2019 OSSC SEC. 1107.6.2.2.2

- POLE LIGHT MAXIMUM 14' TALL
- POST LIGHT MAXIMUM 5' TALL
- WALL PACK MOUNTED ON BUILDING
- LOCATION OF ELECTRICAL SEPARATION WALL
- MAXIMUM 1:12 SLOPE ON SIDEWALK END RAMPS
- 6 BICYCLE SPACES.

NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER. DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

73149 - 3048-SITE  
 Design: M.D.G.  
 Drawn: A.R.T.  
 Checked: B.M.G.  
 Date: SEPT. 2021  
 Scale: AS SHOWN

REGISTERED PROFESSIONAL ENGINEER  
 JULY 14 1978  
 MARK D. GUNN  
 EXPIRES: 06-30-2023

**SITE PLAN AREA 1:**

- 174 TOTAL APARTMENT UNITS**
- 36 TYPE "A" 2-Bd, 1-Ba (903 S.F.) UNITS**
- 24 TYPE "B" 2-Bd, 2-Ba (1005 S.F.) UNITS**
- 54 TYPE "C" 2-Bd, 2-Ba (1139 S.F.) UNITS**
- 24 TYPE "D" 3-Bd, 2-Ba (1127 S.F.) UNITS**
- 36 TYPE "E" 1-Bd, 1-Ba (728 S.F.) UNITS**
  
- 344 TOTAL PARKING STALLS**
- 282 STANDARD STALLS**
- 50 COMPACT STALLS**
- 12 HANDICAP STALLS**
  
- 1 12'x20' LOADING ZONE**
- 18 BICYCLE SPACES IN 3 RACKS (REQUIRED)**
- 1 RECREATION BUILDINGS**
- 1 TRASH COMPACTOR / RECYCLE REC. AREAS**
- 1 U.S. MAIL BOX AREA**
- 1 KEY GATE ENTRY'S**

**SITE PLAN AREA 2:**

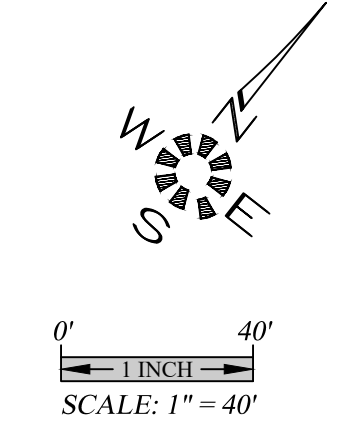
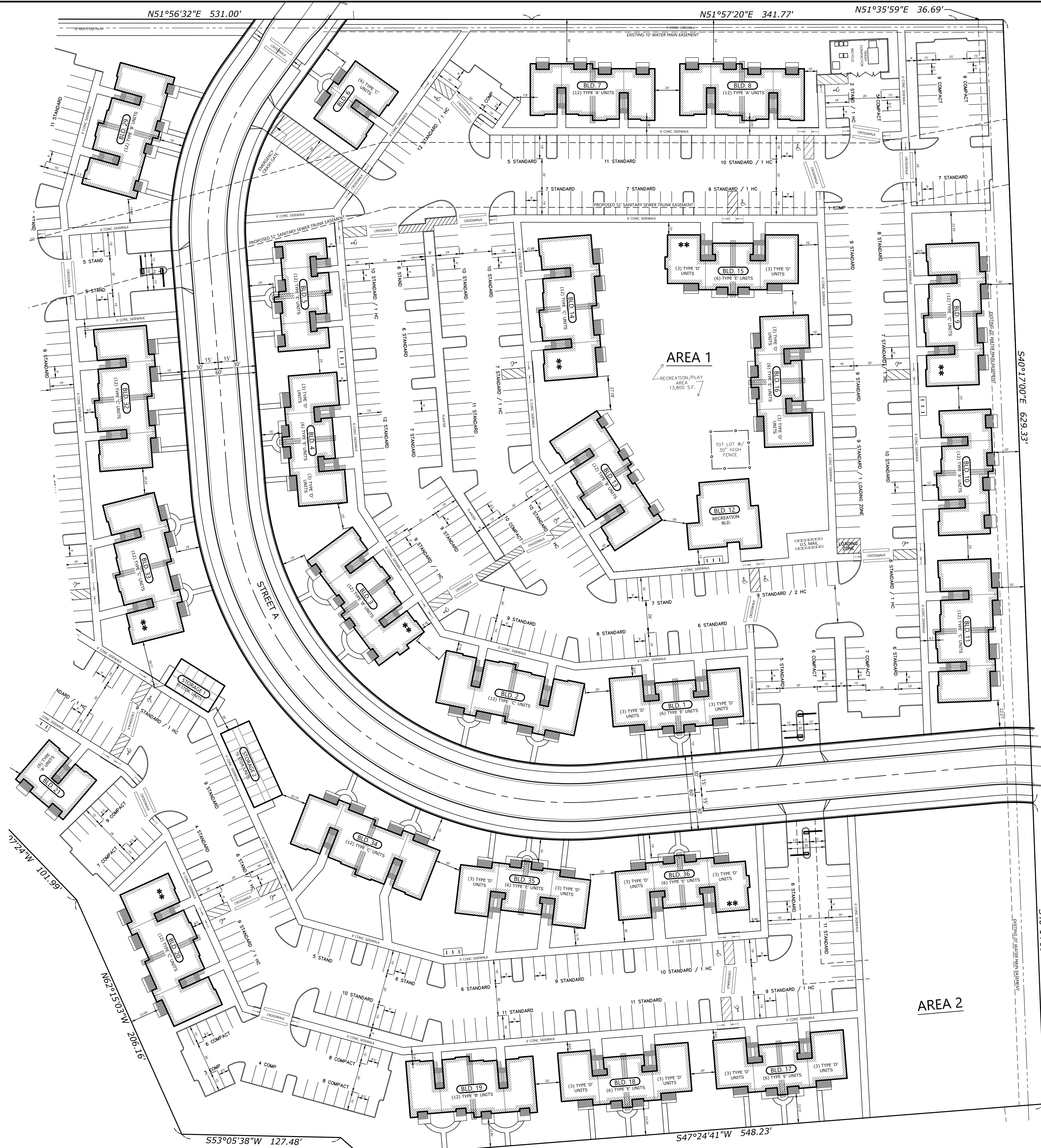
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- 60 TYPE "C" 2-Bd, 2-Ba (1139 S.F.) UNITS**
- 24 TYPE "D" 3-Bd, 2-Ba (1127 S.F.) UNITS**
- 36 TYPE "E" 1-Bd, 1-Ba (728 S.F.) UNITS**
  
- 431 TOTAL PARKING STALLS**
- 359 STANDARD STALLS**
- 58 COMPACT STALLS**
- 14 HANDICAP STALLS**
  
- 2 12'x20' LOADING ZONES**
- 2 STORAGE BUILDINGS (26 UNITS)**
- 24 BICYCLE SPACES IN 4 RACKS (REQUIRED)**
- 1 RECREATION BUILDINGS**
- 1 MAINTENANCE BUILDING**
- 1 TRASH COMPACTOR / RECYCLE REC. AREAS**
- 1 U.S. MAIL BOX AREA**
- 2 KEY GATE ENTRY'S**
- 1 WATER QUALITY AREA**

★ ★ THE INDICATED LOWER FLOOR UNITS IN BUILDINGS 3, 9, 14, 15 & 36 ARE TO BE TYPE A UNITS IN ACCORDANCE WITH THE 2019 OSSC SEC. 1107.6.2.2.1 (NOTED ON FLOOR PLANS). ALL OTHER LOWER FLOOR UNITS TO BE TYPE B UNITS IN ACCORDANCE WITH THE 2019 OSSC SEC. 1107.6.2.2.2

- - POLE LIGHT MAXIMUM 14' TALL
- ★ - POST LIGHT MAXIMUM 5' TALL
- - WALL PACK MOUNTED ON BUILDING
- ▨ - LOCATION OF ELECTRICAL SEPARATION WALL
- ▤ - MAXIMUM 1:12 SLOPE ON SIDEWALK END RAMPS
- ||| - 6 BICYCLE SPACES.

**ADA HANDICAP ACCESSIBILITY NOTES:**

1. ALL ON-SITE WALKWAYS, PEDESTRIAN CONNECTIONS TO THE PUBLIC SIDEWALK AND ROUTES TO BUILDING ENTRANCES ARE ACCESSIBLE WITH RUNNING SLOPES LESS THAN 5% AND CROSS SLOPE LESS THAN 2% MAX. LANDINGS AT BOTTOM OF STAIRS AND EXT. FACE OF ENTRANCE DOORS SHALL HAVE A SLOPE IN THE DIRECTION OF TRAVEL NOT TO EXCEED 2%.
2. HANDICAP PARKING STALLS AND ACCESS AISLES ARE TO HAVE SLOPES IN ANY DIRECTION OF LESS THAN 2% MAX. GRAPHIC MARKINGS & SIGNAGE FOR HANDICAP AND VAN ACCESSIBLE STALLS WILL BE PER OSSC 2010 CHPTR. 11 AND ORS. REQUIREMENTS.
3. HANDICAP ACCESSIBLE CURB RAMPS SHALL HAVE A RUNNING SLOPE NOT TO EXCEED 1:12 MAX. AND A CROSS SLOPE NOT TO EXCEED 1%.
4. THE COMMUNITY BUILDING & ON-SITE LAUNDRY FACILITIES WILL BE FULLY HANDICAP ACCESSIBLE IN ACCORDANCE WITH ANSI A117.1 AND CHAPTER 11 OF THE 2010 OSSC.
5. 2% OF THE LIVING UNITS OR (3) UNITS WILL BE TYPE 'A' HANDICAP ACCESSIBLE. THESE INCLUDE A 1, 2 AND 3 BEDROOM UNITS AS INDICATED ON THIS SITE PLAN. THE BALANCE OF THE GROUND FLOOR LIVING UNITS WILL BE TYPE 'B' ADAPTABLE UNITS IN ACCORDANCE WITH ANSI A117.1.



**MULTI/TECH**  
 ENGINEERING SERVICES, INC.  
 1155 13TH ST., S.E. SALEM, OR. 97302  
 PH. (503) 385-9227 FAX (503) 384-1280  
 www.multitechinc.com email: info@multitechinc.com

**SITE PLAN AREAS 1 & 2**

**HAWK'S RIDGE APARTMENTS  
 PH. 3**

NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER. DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

Design: M.D.G.  
 Drawn: A.R.T.  
 Checked: B.M.G.  
 Date: SEPT. 2021  
 Scale: AS SHOWN



EXPIRES: 06-30-2023  
 JOB # 7314

**SDR4**

**PLANT KEY**

SYMBOL		COMMON NAME	SHRUBS
<b>TREES</b>			
(M)		MORTON STATE STREET MAPLE	(G)
(+)		LEYLAND CYPRESS	(H)
(F)		ROUND-LEAVED BEECH	(C)
(+)		CLEVELAND SELECT FLOWERING PEAR	(X)
			(B)
			(D)
			(E)
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**PLANT KEY**

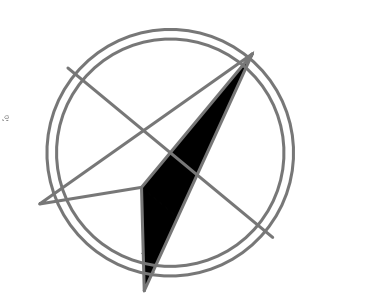
SYMBOL	COMMON NAME
	ROUND-LEAVED BEECH
	MORTON STATE STREET MAPLE
	LEYLAND CYPRESS

	ROUND-LEAVED BEECH
	CLEVELAND SELECT FLOWERING PEAR

SHRUBS	COMMON NAME
	RUDY HAAG DWARF BURNING BUSH
	GOLDEN EUONYMUS
	SKY PENCIL JAPANESE HOLLY
	WAXLEAF PRIVET
	CREeping MAHONIA
	HARBOR DWARF HEAVENLY BAMBOO

	GOSHIKI FALSE HOLLY
	DWARF MUGO PINE
	DOUBLE KNOCK OUT ROSE
	LITTLE PRINCESS SPIREA

GROUNDCOVER	COMMON NAME
	ELIJAH BLUE BLUE FESCUE
	TURF



0' 5' 10'  
SCALE: 1"=30'0"  
24"x36" ORIGINAL SIZE



**PLANT KEY**







**SYMBOL**      **COMMON NAME**





**TREES**

-  MORTON STATE STREET MAPLE
-  LEYLAND CYPRESS



-  ROUND-LEAVED BEECH
-  CLEVELAND SELECT FLOWERING PEAR

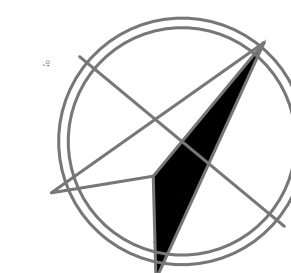
**SHRUBS**

-  RUDY HAAG DWARF BURNING BUSH
-  GOLDEN EUONYMUS
-  SKY PENCIL JAPANESE HOLLY
-  WAXLEAF PRIVET
-  CREEPING MAHONIA
-  HARBOR DWARF HEAVENLY BAMBOO

-  GOSHIKI FALSE HOLLY
-  DWARF MUGO PINE
-  DOUBLE KNOCK OUT ROSE
-  LITTLE PRINCESS SPIREA

**GROUNDCOVER**

-  ELIJAH BLUE BLUE FESCUE
-  TURF



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LANDSCAPE ARCHITECT  
PRELIMINARY  
Andrew J. Leisinger  
OREGON  
1/25/82

LANDSCAPE ARCHITECTURE  
SITE PLANNING  
Andrew J. Leisinger, RLA  
Landscape Architect  
3295 Triangle Drive SE, STE. 105, Salem, Oregon 97302  
Phone: (503) 578-0200, Cell: (503) 580-2103, [andy@leisingerdesigns.com](mailto:andy@leisingerdesigns.com)



**HAWK'S RIDGE APARTMENTS PH. 3**  
**SCHEMATIC/DESIGN DEVELOPMENT**

JOB NO. 7314  
DATE 06/25/22  
DESIGN BY AL/NP  
CHECKED BY AL  
SHEET **LS-2**

**BUILDING ELEVATIONS**

**HAWK'S RIDGE APARTMENTS PH.3**

NO CHANGES, MODIFICATIONS OR REVISIONS TO BE MADE TO THIS DRAWING WITHOUT THE AUTHORIZATION FROM THE DESIGN ENGINEER.  
 DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

BID# 12-2021-0101  
 ALGEBLEY  
 Design: P.L.M.  
 Drawn: G.L.D./A.R.T.  
 Checked: M.D.G.  
 Date: Oct-21  
 Scale: AS SHOWN

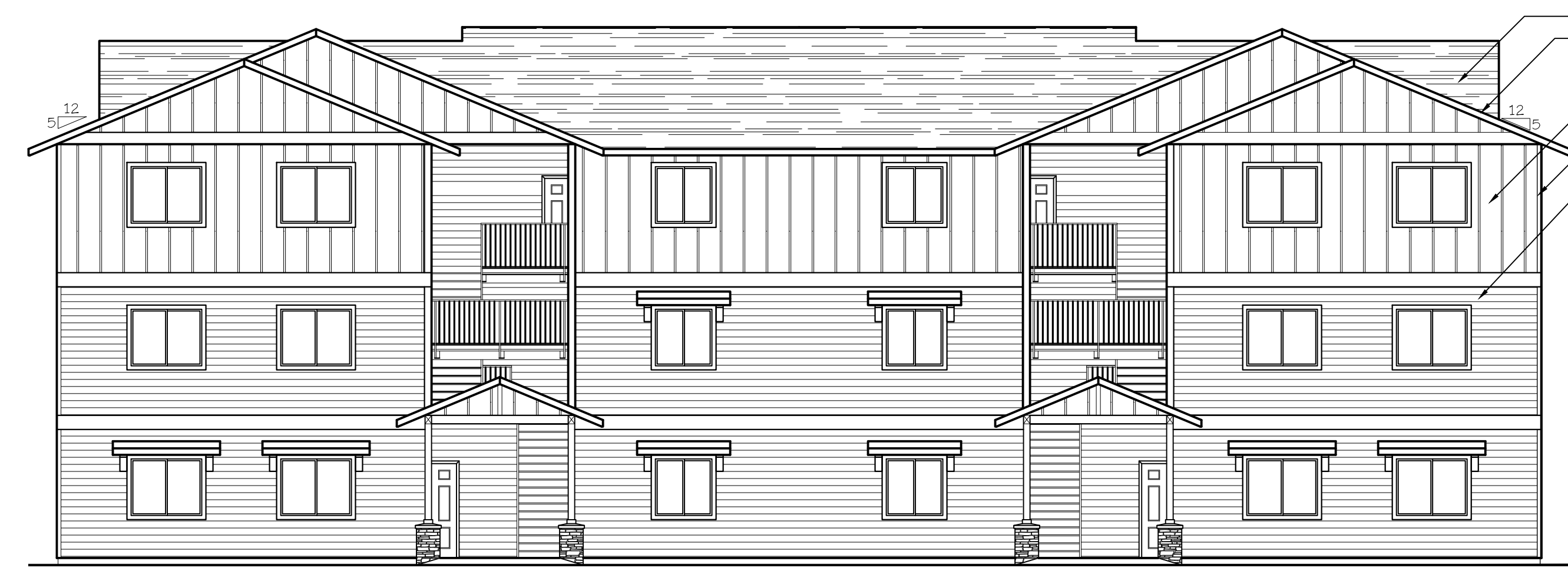
JOB # 7314



WEST ELEVATION (BLD. 1.4.16.17.18.+35)  
 SCALE: 1/8" = 1'-0"



SOUTH ELEVATION (TYPE D UNITS)  
 SCALE: 1/8" = 1'-0"  
 (BLD. 1.4.16.17.18.+35)



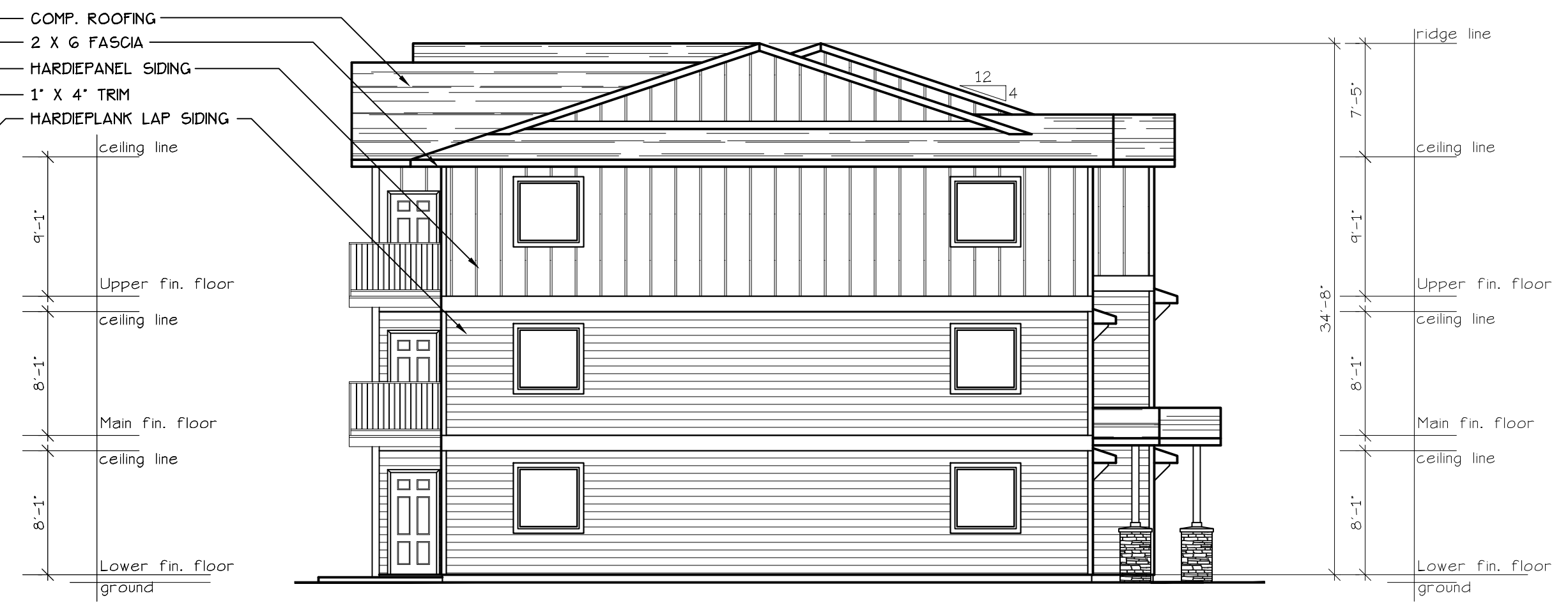
EAST ELEVATION (BLD. 1.4.16.17.18.+35)  
 SCALE: 1/8" = 1'-0"



NORTH ELEVATION (TYPE D UNITS)  
 SCALE: 1/8" = 1'-0"  
 (BLD. 1.4.16.17.18.+35)



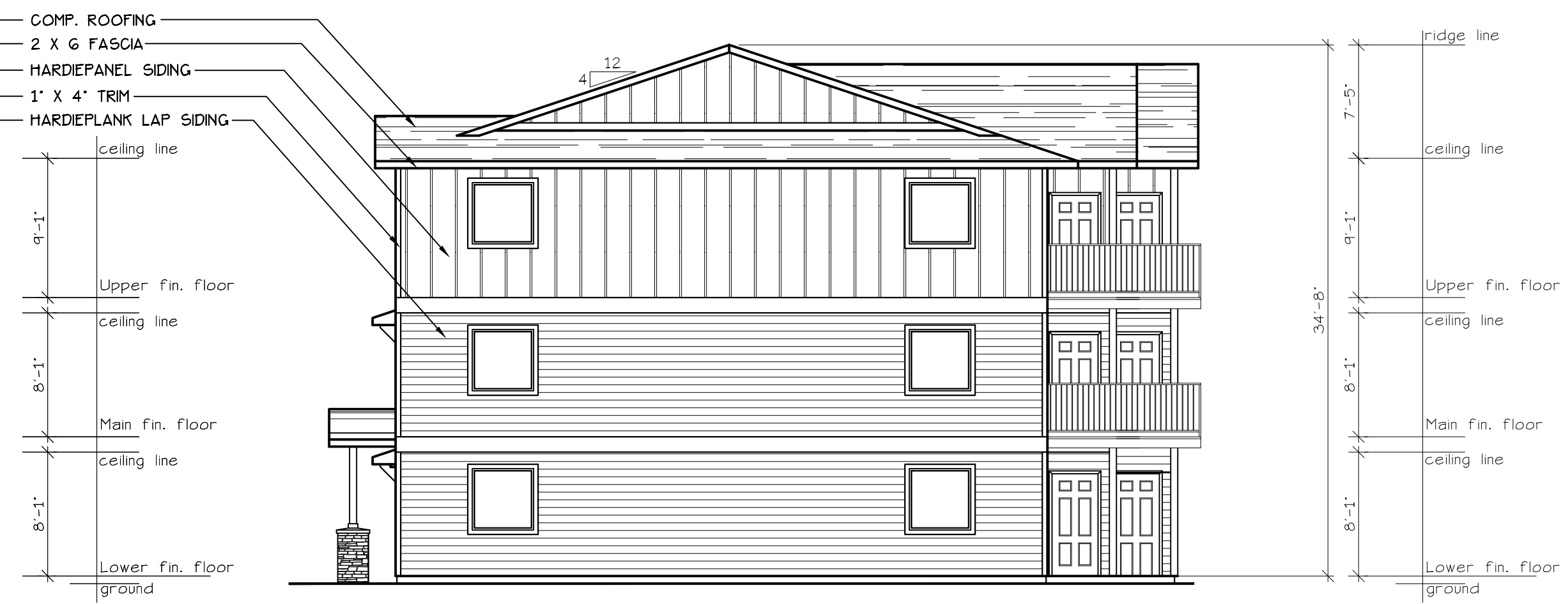
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 SCALE: 1/8" = 1'-0"  
**BLD. 2.11.22.32.+34**



**SOUTH ELEVATION** (TYPE C UNITS)  
 SCALE: 1/8" = 1'-0"  
**BLD. 2.11.22.32.+34**



**EAST ELEVATION** (TYPE C UNITS)  
 SCALE: 1/8" = 1'-0"  
**BLD. 2.11.22.32.+34**



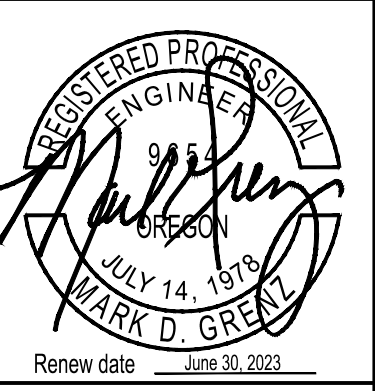
**NORTH ELEVATION** (TYPE C UNITS)  
 SCALE: 1/8" = 1'-0"  
**BLD. 2.11.22.32.+34**

COMP. ROOFING  
 2 X 6 FASCIA  
 HARDIPANEL SIDING  
 1" X 4" TRIM  
 HARDIEPLANK LAP SIDING

COMP. ROOFING  
 2 X 6 FASCIA  
 HARDIPANEL SIDING  
 1" X 4" TRIM  
 HARDIEPLANK LAP SIDING

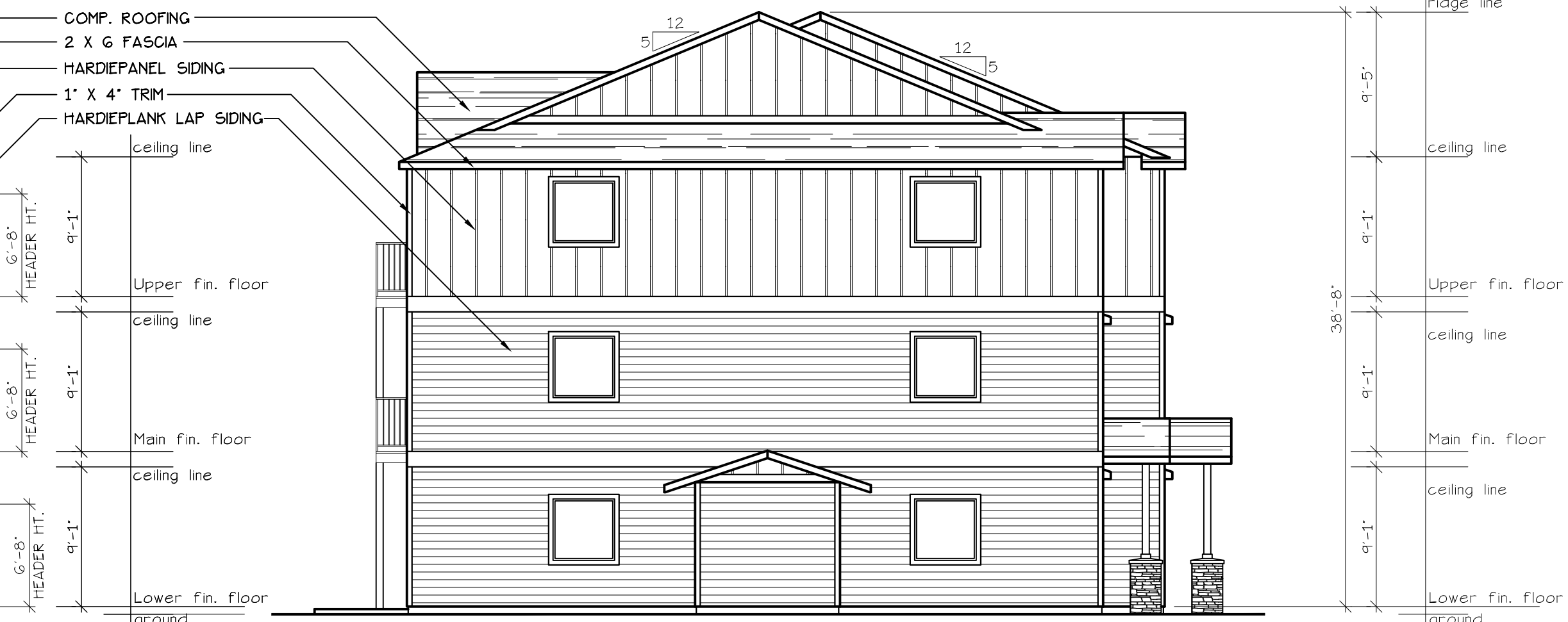
NO CHANGES, MODIFICATIONS OR REVISIONS TO BE MADE TO THIS DRAWING WITHOUT THE WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER.  
 DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

BLD. 2.11.22.32.01  
 A2.80/REV. 1  
 Design: P.L.M.  
 Drawn: G.L.D./A.R.T.  
 Checked: M.D.G.  
 Date: Oct-21  
 Scale: AS SHOWN  
 JOB # 7314





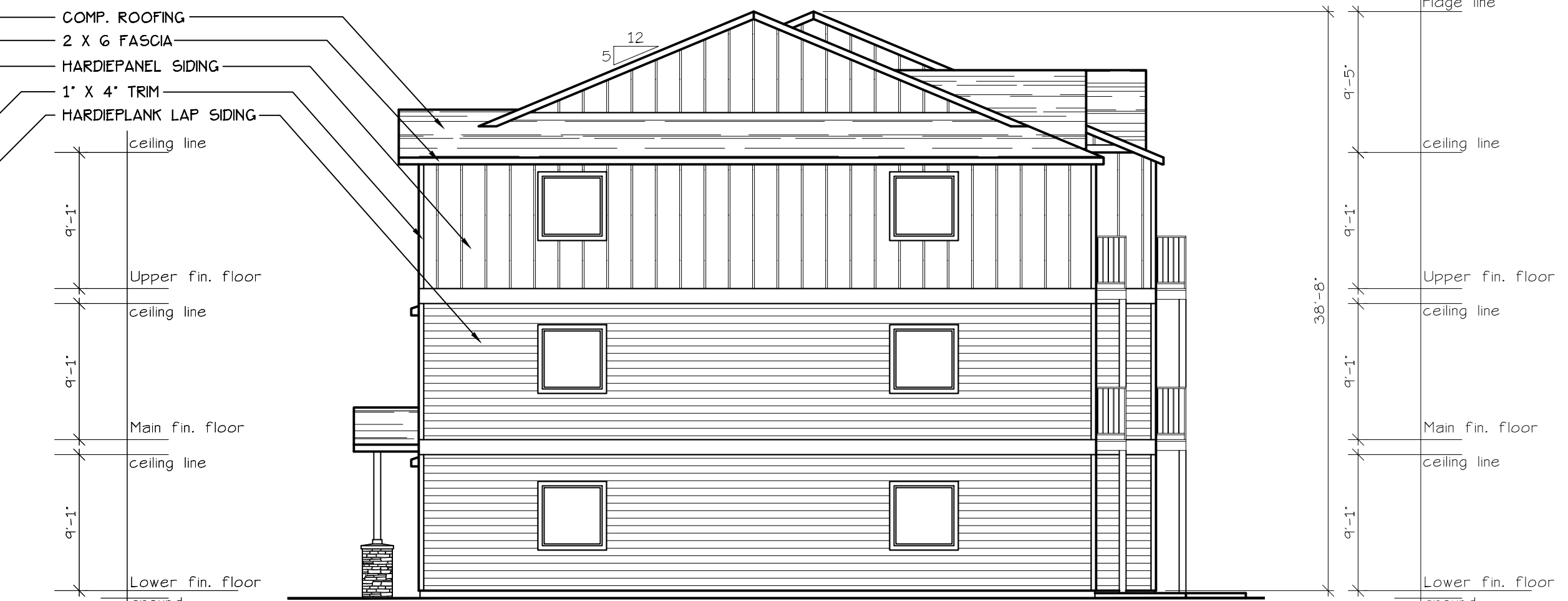
**EAST ELEVATION** (TYPE B UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 3 + 25



**NORTH ELEVATION** (TYPE B UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 3 + 25



**WEST ELEVATION** (TYPE B UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 3 + 25

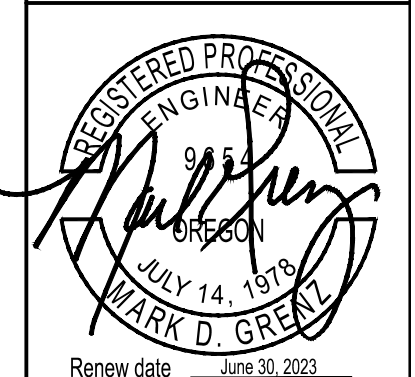


**SOUTH ELEVATION** (TYPE B UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 3 + 25

NO CHANGES, MODIFICATIONS OR REVISIONS TO BE MADE TO THIS DRAWING WITHOUT THE AUTHORIZATION FROM THE DESIGN ENGINEER.  
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

REDW-4-12-20/011  
A3.80/LEY  
Design: P.L.M.  
Drawn: G.L.D./A.R.T.  
Checked: M.D.G.  
Date: Oct-21  
Scale: AS SHOWN

JOB # 7314



Renew date: June 30, 2023



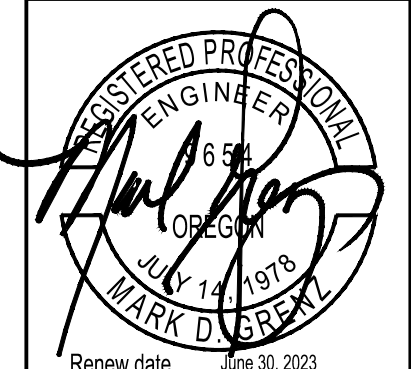
**BUILDING ELEVATIONS**

**HAWK'S RIDGE APARTMENTS PH.3**

NO CHANGES, MODIFICATIONS OR REVISIONS TO BE MADE IN REPRESENTATION FROM THE DESIGN ENGINEER.  
 DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

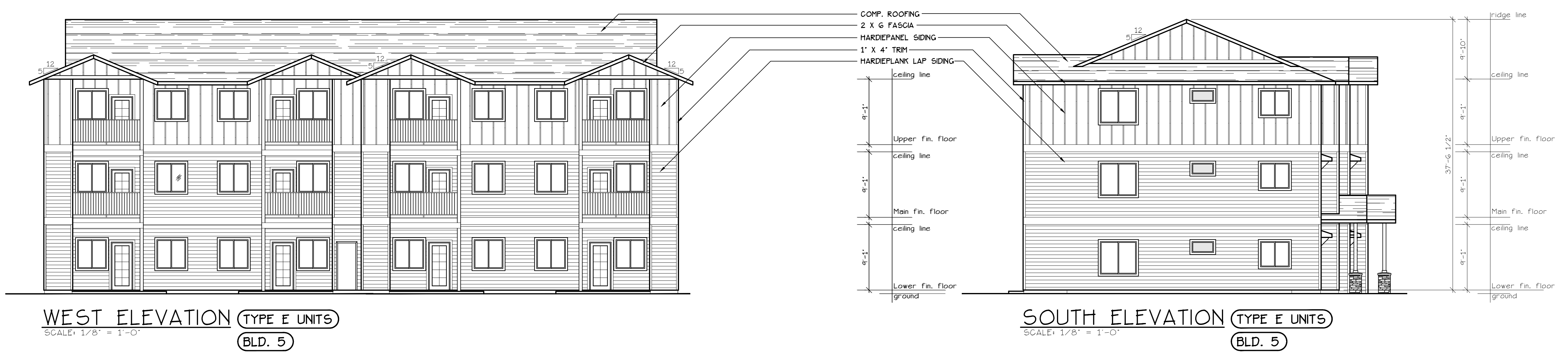
Design: P.L.M.  
 Drawn: G.L.D./A.R.T.  
 Checked: M.D.G.  
 Date: Oct-21  
 Scale: AS SHOWN

JOB # 7314



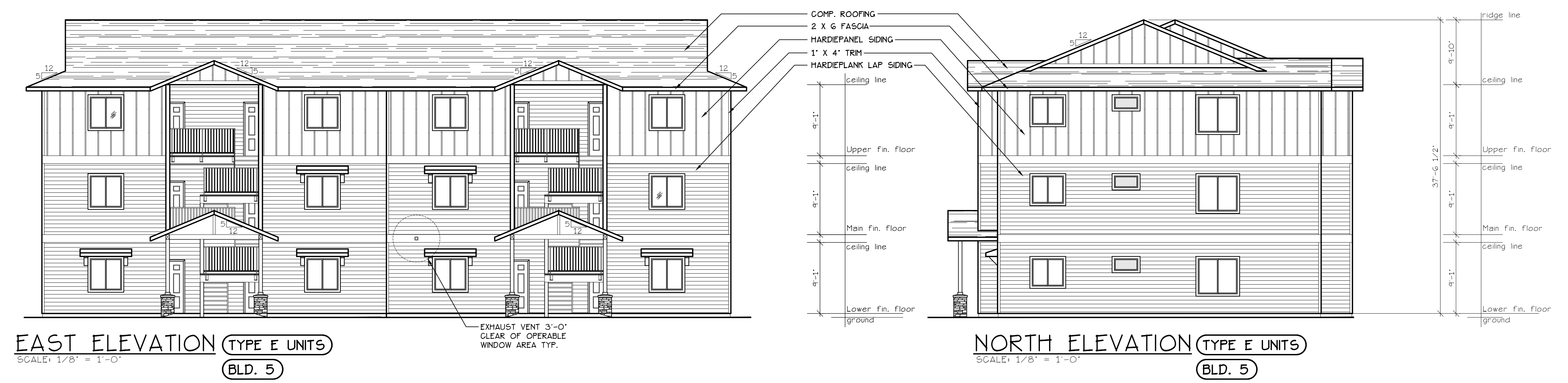
Renew date: 12/31/2023

**A5.90**



**WEST ELEVATION (TYPE E UNITS)**  
 SCALE: 1/8" = 1'-0"  
**BLD. 5**

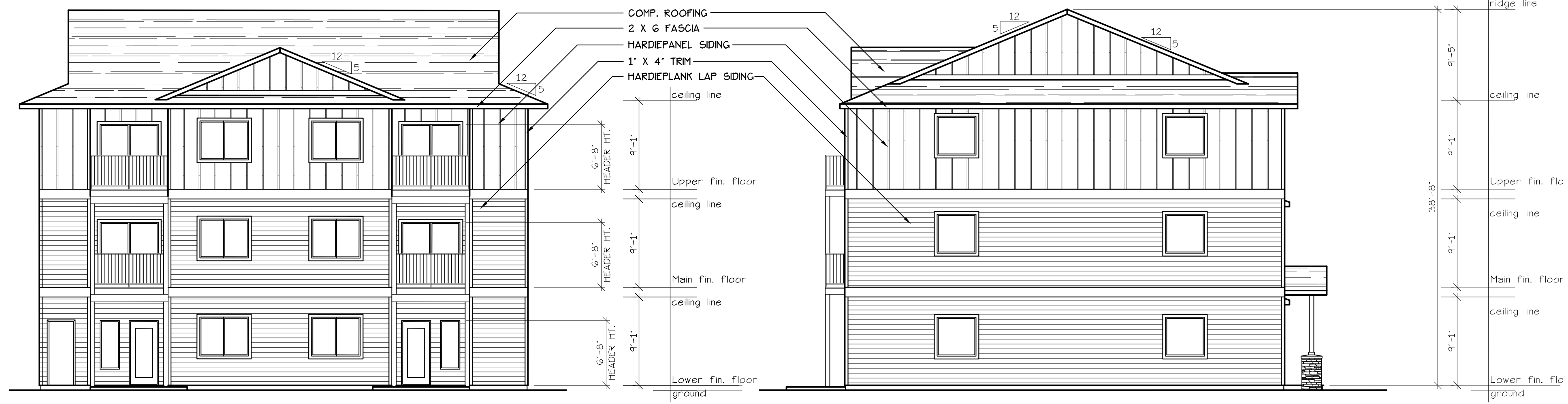
**SOUTH ELEVATION (TYPE E UNITS)**  
 SCALE: 1/8" = 1'-0"  
**BLD. 5**



**EAST ELEVATION (TYPE E UNITS)**  
 SCALE: 1/8" = 1'-0"  
**BLD. 5**

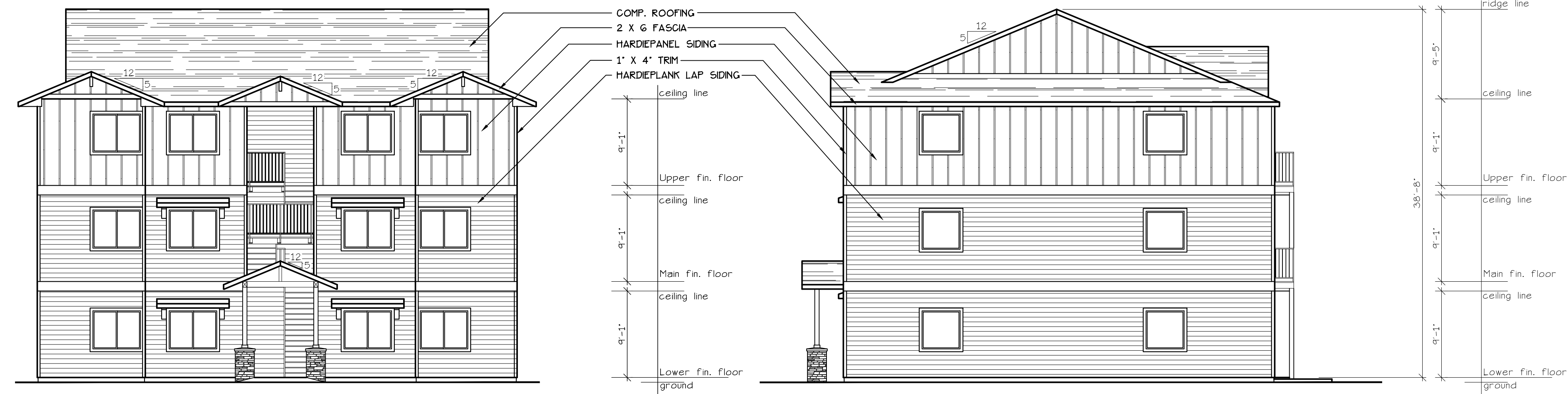
**NORTH ELEVATION (TYPE E UNITS)**  
 SCALE: 1/8" = 1'-0"  
**BLD. 5**

EXHAUST VENT 3'-0" CLEAR OF OPERABLE WINDOW AREA TYP.



**EAST ELEVATION** (TYPE B UNITS)  
SCALE: 1/8" = 1'-0"  
**BLD. 6**

**NORTH ELEVATION** (TYPE B UNITS)  
SCALE: 1/8" = 1'-0"  
**BLD. 6**



**WEST ELEVATION** (TYPE B UNITS)  
SCALE: 1/8" = 1'-0"  
**BLD. 6**

**SOUTH ELEVATION** (TYPE B UNITS)  
SCALE: 1/8" = 1'-0"  
**BLD. 6**

NO CHANGES, MODIFICATIONS OR REVISIONS TO BE MADE TO THESE DRAWINGS WITHOUT THE WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER.  
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

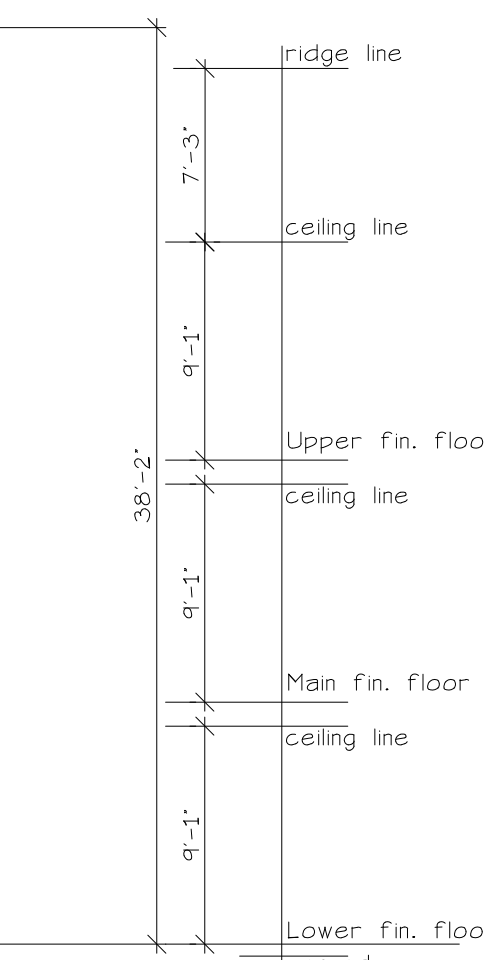
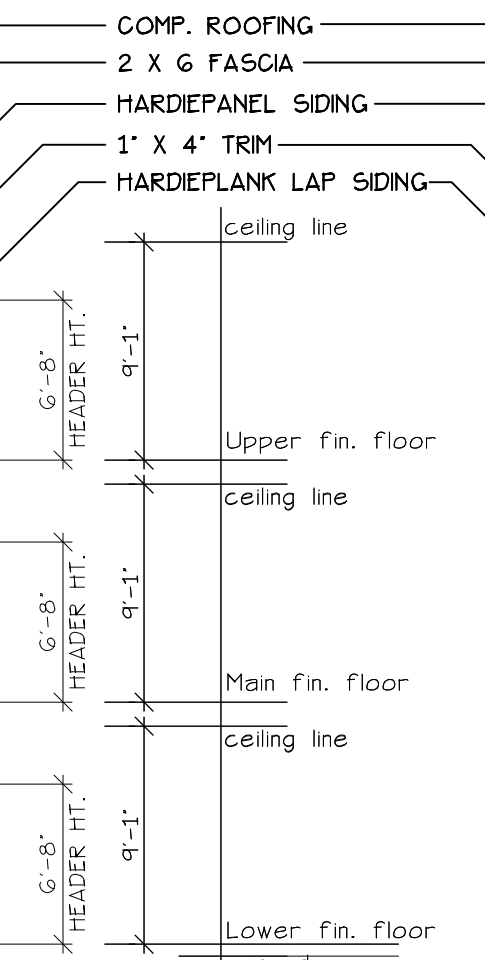
DESIGN: P.L.M.  
DRAWN: G.L.D./A.R.T.  
CHECKED: M.D.G.  
DATE: Oct-21  
SCALE: AS SHOWN

JOB # 7314



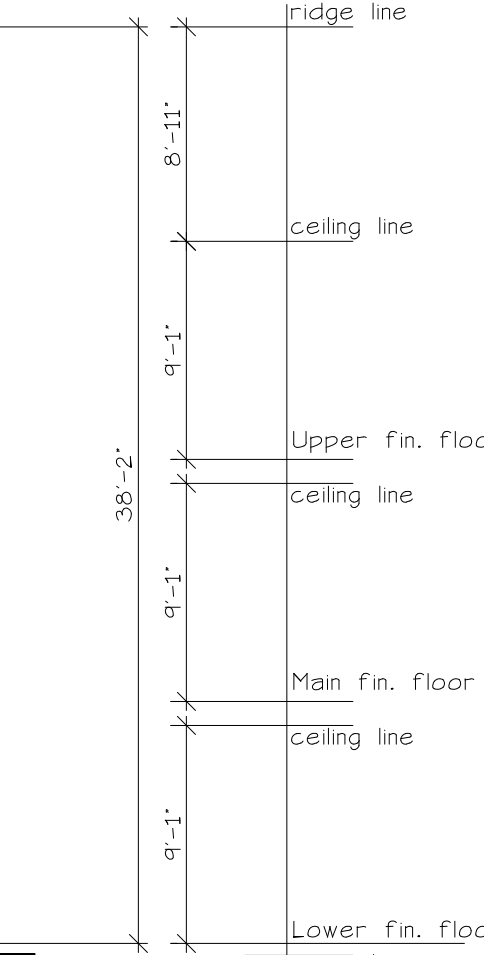
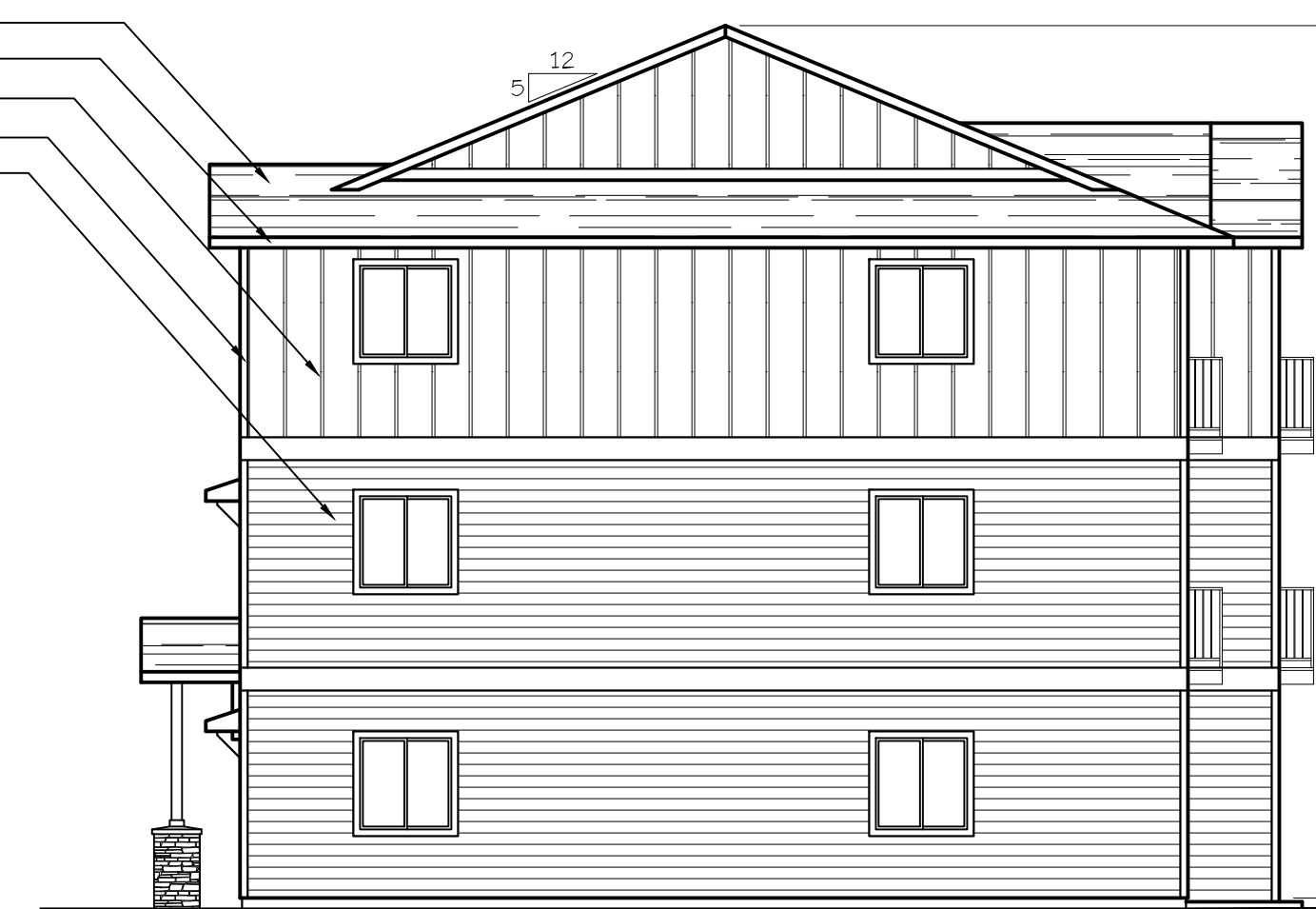
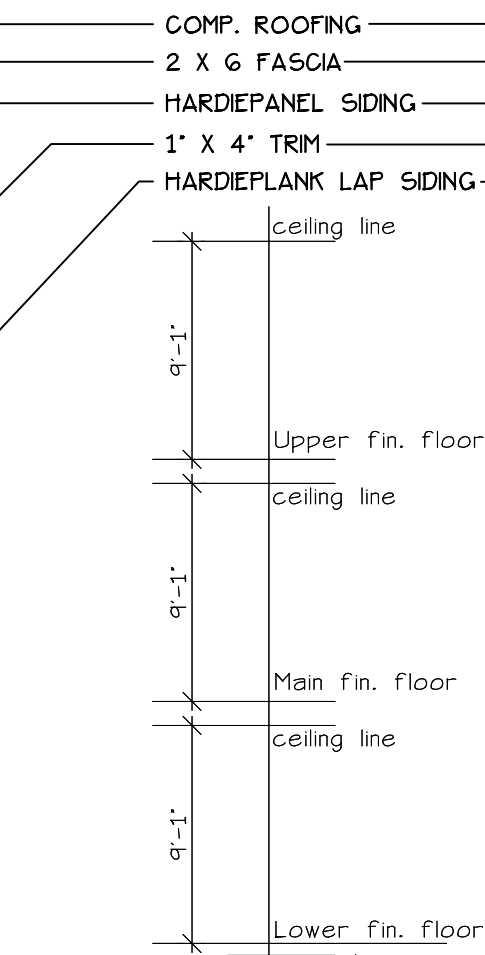
Renew date: June 30, 2023

**A6.80**



**NORTHWEST ELEVATION (TYPE A UNITS)**  
 SCALE: 1/8" = 1'-0"  
 BLD. 7.8.10.24.28.+30

**SOUTHWEST ELEVATION (TYPE A UNITS)**  
 SCALE: 1/8" = 1'-0"  
 BLD. 7.8.10.24.28.+30



**SOUTHEAST ELEVATION (TYPE A UNITS)**  
 SCALE: 1/8" = 1'-0"  
 BLD. 7.8.10.24.28.+30

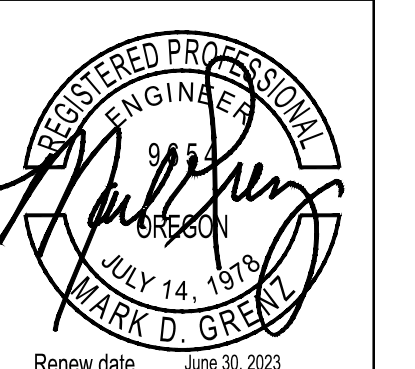
EXHAUST VENT 3'-0" CLEAR OF OPERABLE WINDOW AREA TYP.

**NORTHEAST ELEVATION (TYPE A UNITS)**  
 SCALE: 1/8" = 1'-0"  
 BLD. 7.8.10.24.28.+30

NO CHANGES, MODIFICATIONS OR REVISIONS TO BE MADE TO THIS DRAWING WITHOUT THE AUTHORIZATION FROM THE DESIGN ENGINEER.  
 DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

8/24/22/20/01/ A7.80/RELEVY  
 Design: P.L.M.  
 Drawn: G.L.D./A.R.T.  
 Checked: M.D.G.  
 Date: Oct-21  
 Scale: AS SHOWN

JOB # 7314



Renew date: June 30, 2023

**A7.80**



**NORTH ELEVATION** (TYPE C UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 9.14.20.+33



**WEST ELEVATION** (TYPE C UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 9.14.20.+33



**SOUTH ELEVATION** (TYPE C UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 9.14.20.+33



**EAST ELEVATION** (TYPE C UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 9.14.20.+33

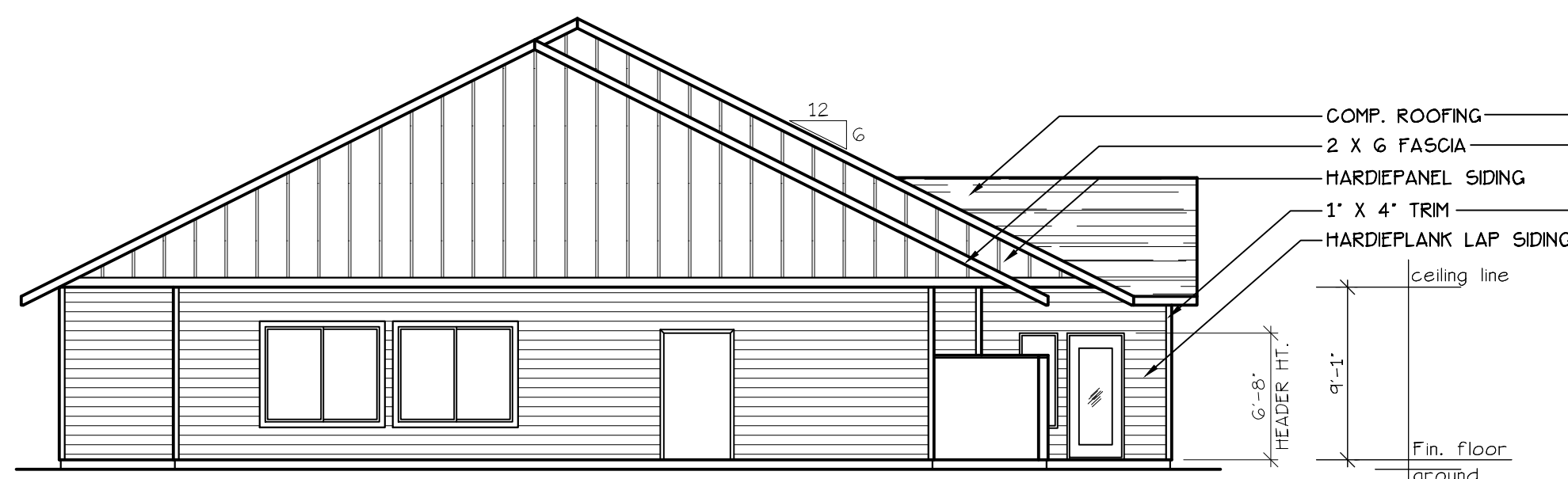
NO CHANGES, MODIFICATIONS OR REVISIONS TO BE MADE TO THIS DRAWING WITHOUT THE AUTHORIZATION FROM THE DESIGN ENGINEER.  
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

Design: P.L.M.  
Drawn: G.L.D./A.R.T.  
Checked: M.D.G.  
Date: Oct-21  
Scale: AS SHOWN

JOB # 7314



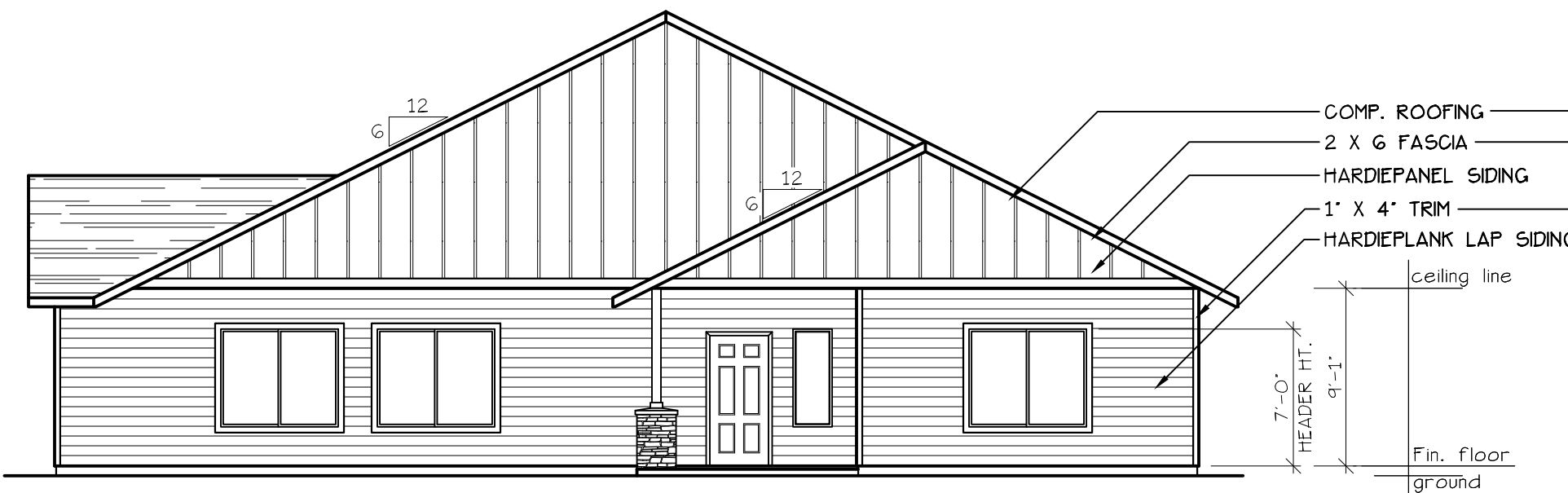
Renew date: June 30, 2023



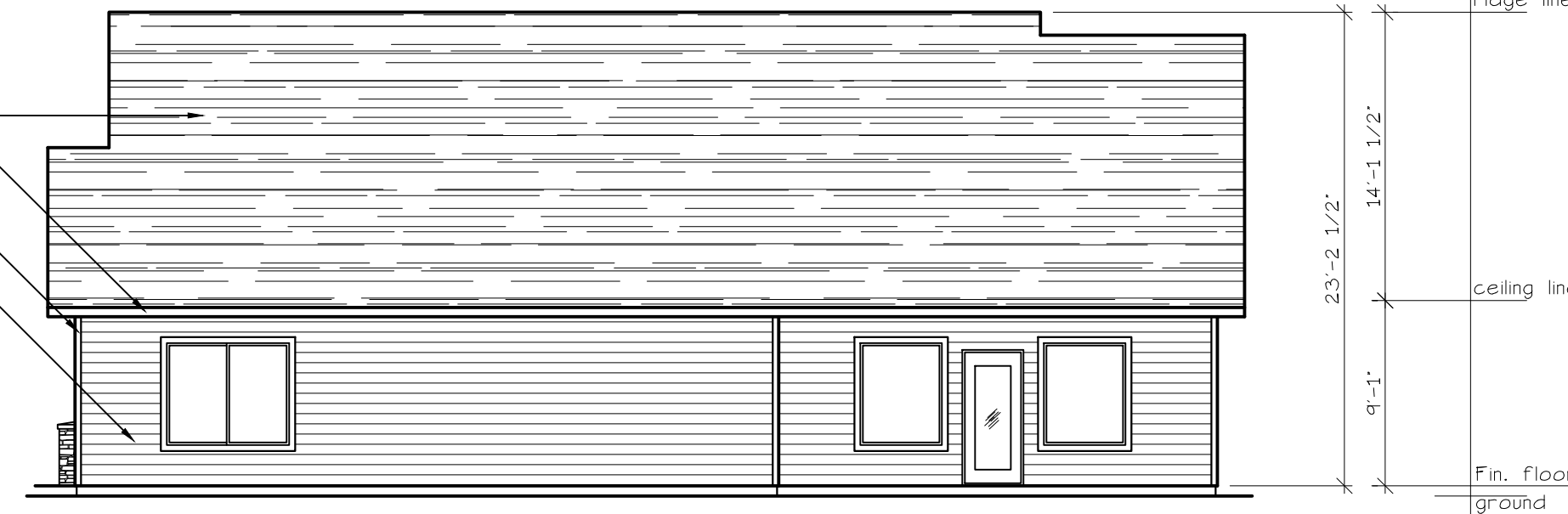
**WEST ELEVATION** (RECREATION BLD.)  
SCALE: 1/8" = 1'-0"  
**BLD. 12 + 31**



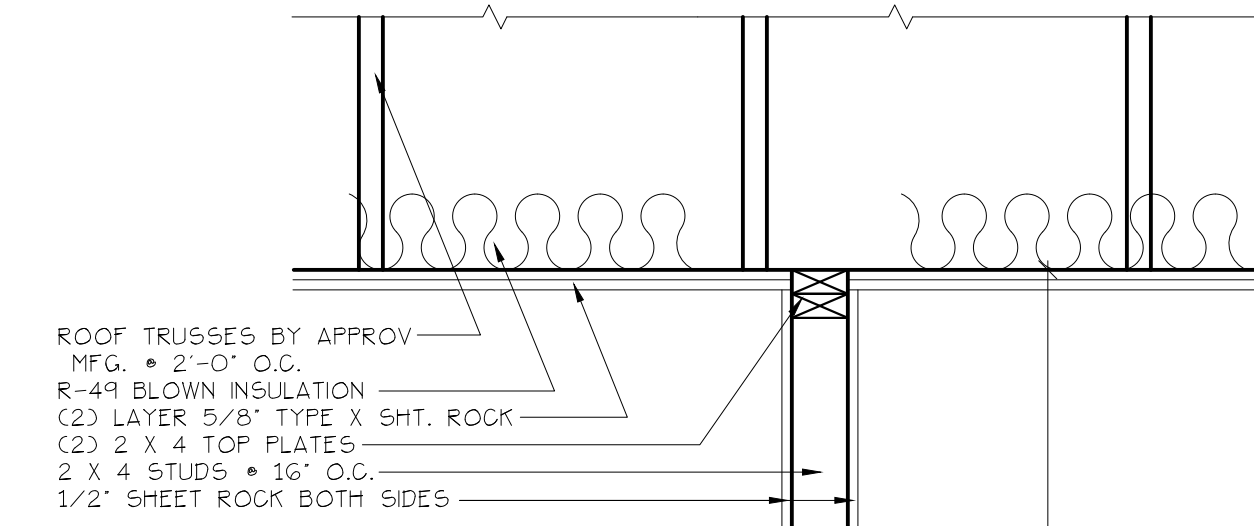
**SOUTH ELEVATION** (RECREATION BLD.)  
SCALE: 1/8" = 1'-0"  
**BLD. 12 + 31**



**EAST ELEVATION** (RECREATION BLD.)  
SCALE: 1/8" = 1'-0"  
**BLD. 12 + 31**



**NORTH ELEVATION** (RECREATION BLD.)  
SCALE: 1/8" = 1'-0"  
**BLD. 12 + 31**



**TYP. INTERIOR WALL**  
SCALE: 1" = 1'-0"

**HEADER NOTES**

1. ALL DOOR AND WINDOW HEADERS TO BE #2 4x12 UNLESS NOTED OTHERWISE ON PLANS.
2. ALL 6x12 BEAMS SPECIFIED ON PLANS TO BE #1 D.F.
3. ALL DOOR HEADERS (INCLUDING PATIO DOORS) TO BE FRAMED AT 6'-0" A.F.F. OR AS PER MFG. SPECIFICATIONS (SEE ELEVATIONS FOR ANY EXCEPTIONS).
4. ALL LOWER FLOOR WINDOW HEADERS TO BE FRAMED AT 7'-6" A.F.F. (SEE ELEVATIONS FOR ANY EXCEPTIONS).

**TABLE 401.1(1) PRESCRIPTIVE ENVELOPE REQUIREMENTS\***

BUILDING COMPONENT	STANDARD DENSE GASE		LOG HOMES ONLY	
	Required Performance	Equivalent Value <sup>b</sup>	Required Performance	Equivalent Value <sup>b</sup>
Wall insulation—above grade <sup>c</sup>	U-0.060	R-21 <sup>d</sup>	Note d	Note d
Wall insulation—below grade <sup>c</sup>	R-0.565	R-15	R-0.565	R-15
Flat ceilings <sup>e</sup>	U-0.031	R-38	U-0.025	R-49
Vaulted ceilings <sup>e</sup>	U-0.042	R-38 <sup>f</sup>	U-0.027	R-38 <sup>f</sup>
Underfloors	U-0.028	R-30	U-0.028	R-30
Slab edge perimeter	R-0.520	R-15	R-0.520	R-15
Heated slab interior <sup>g</sup>	n/a	R-10	n/a	R-10
Windows <sup>h</sup>	U-0.35	U-0.35	U-0.35	U-0.35
Window area limitation <sup>h</sup>	n/a	n/a	n/a	n/a
Skylights <sup>i</sup>	U-0.60	U-0.60	U-0.60	U-0.60
Exterior doors <sup>j</sup>	U-0.20	U-0.20	U-0.54	U-0.54
Exterior doors w/ > 2.5 ft <sup>2</sup> glazing <sup>k</sup>	U-0.40	U-0.40	U-0.40	U-0.40
Forced air duct insulation	n/a	R-8	n/a	R-8

For SF: 1 square foot = 0.0929m<sup>2</sup>.

As allowed in Section 404.1, thermal performance of a component may be adjusted provided that overall heat loss does not exceed the total resulting from conformance to the required U-values standards. Calculations to document equivalent heat loss shall be performed using the procedure and approved U-values contained in Table 401.1(1).

Relevant used in this table are optional, for the insulation only in standard wood framed construction and not for the entire assembly.

Well insulation requirements apply to all exterior wood framed, concrete or masonry walls that are above grade. This includes edge walls and rim joint areas. R-19 Advanced Frame or 2 x 4 wall with rigid insulation may be substituted if total nominal insulation R-value is 18.5 or greater.

The wall component shall be a minimum solid or timber wall thickness of 3.5 inches (90 mm).

Below-grade wood, concrete or masonry walls include all walls that are below grade and does not include those portions of such wall that extend more than 24 inches above grade.

Insulation levels for ceilings that have limited attic/rafter depth such as dormers, bay windows or similar architectural features totaling not more than 150 square feet (13.9 m<sup>2</sup>) in area may be reduced to not less than R-21. When reduced, the cavity shall be filled (except for required ventilation spaces).

The maximum vented ceiling surface area shall not be greater than 50 percent of the total heated space floor area unless area has a U-factor no greater than U-0.031. The U-factor (U-0.031) is representative of a vented ceiling. A 10 inch (254 mm) deep rafter vented ceiling with R-30 batt insulation is U-0.033 and complies with this requirement, not to exceed 50 percent of the total heated space floor area.

An advanced frame construction, which shall provide full required insulation value to the outside of exterior walls.

Heated slab interior applies to concrete slab floors (both on and below grade) that incorporate a radiant heat system within the slab. Insulation shall be installed underneath the entire slab.

Sliding glass doors shall comply with window performance requirements. Windows exempt from testing in accordance with Section 411.2, Item 3 shall comply with window performance requirements if constructed with thermal break aluminum or wood, or vinyl, or fiberglass frames and double-pane glazing with low-emissivity coatings of 0.10 or less.

Reduced window area may not be used as a trade-off criterion for thermal performance of any component.

Skylight area installed at 2 percent or less of total heated space floor area shall be deemed to satisfy this requirement with vinyl, wood, or thermally broken aluminum frames and double-pane glazing with low-emissivity coatings. Skylight U-factor is limited to the 20 degree (0.35 m<sup>2</sup>) overhead plane per NFRC standards. A maximum of 28 square feet (2.6 m<sup>2</sup>) of exterior door area per dwelling unit has a U-factor of 0.54 or less.

Glazing that is either double-pane with low-e coating on one surface, or triple-pane shall be deemed to comply with this U-0.40 requirement.

**TABLE 401.1(2) ADDITIONAL MEASURES (select one)\***

MEASURE
1. High efficiency HVAC system: Gas-fired furnace or boiler with minimum AFUE of 90%, or Air-source heat pump with minimum HSPF of 8.5, or Closed-loop ground source heat pump with minimum COP of 3.0
2. High efficiency duct sealing: Certified performance tested duct systems <sup>b</sup> or All ducts and air handler are contained within building envelope <sup>c</sup>
3. High efficiency building envelope: Replace corresponding Table 401.1(1) components with all of the following: Wall insulation—above grade—U-0.047/R-24, and Vaulted ceilings—U-0.033/R-30A <sup>d</sup> , and Flat ceilings—U-0.025/R-49, and Windows—U-0.32
4. Zonal electric, ductless furnace or ductless heat pumps: 75 percent of lamps in permanently installed lighting fixtures as CFL or linear fluorescent or a min. efficacy of 40 lumens per watt, or Windows—U-0.32, or Flat ceilings—U-0.025/R-49 and vaulted ceilings—U-0.033/R-30A, or Exterior walls—U-0.047/R-24
5. High efficiency ceiling <sup>e</sup> & window/lighting: Replace corresponding Table 401.1(1) components with all of the following: Vaulted ceilings—U-0.033/R-30A <sup>d</sup> , and Flat ceilings—U-0.025/R-49, and Windows—U-0.32, and 75 percent of lamps in permanently installed lighting fixtures as CFL or linear fluorescent or a min. efficacy of 40 lumens per watt
6. High efficiency ceiling <sup>e</sup> & window/water heating: Replace corresponding Table 401.1(1) components with all of the following: Vaulted ceilings—U-0.033/R-30A <sup>d</sup> , and Flat ceilings—U-0.025/R-49, and Windows—U-0.32, and Natural gas/propane, on-demand water heating with min. EF of 0.80
7. High efficiency water heating/lighting: Natural gas/propane, on-demand water heating with min. EF of 0.80, and 75 percent of lamps in permanently installed lighting fixtures as CFL or linear fluorescent or a min. efficacy of 40 lumens per watt
8. Solar photovoltaic: Minimum 1 W/m <sup>2</sup> ft <sup>2</sup> of conditioned floor space <sup>f</sup>
9. Solar water heating: Minimum of 40 ft <sup>2</sup> of gross collector area <sup>g</sup>

For SF: 1 square foot = 0.0929m<sup>2</sup>.

Measures located within the building envelope shall have sealed combustion air installed. Combustion air shall be ducted directly from the outdoors.

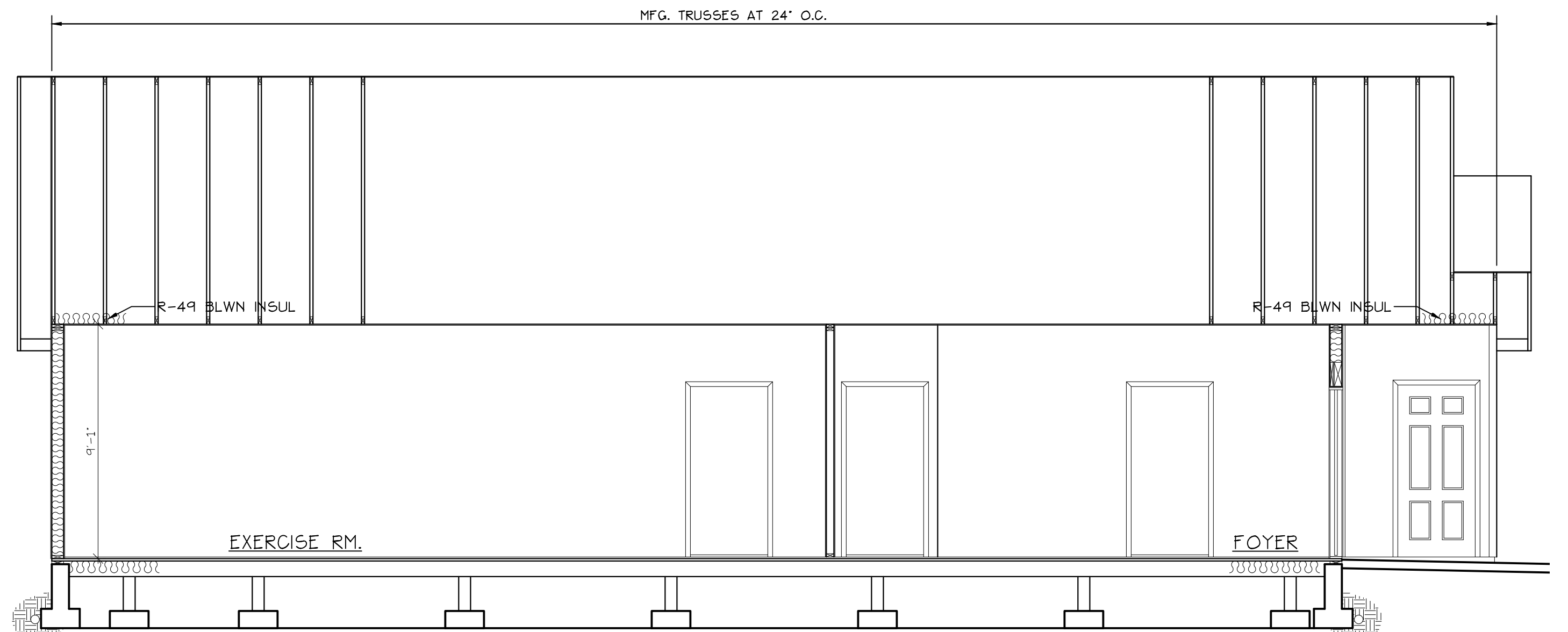
Documentation of performance tested (document) shall be submitted to the building official upon completion of work. This work shall be performed by a contractor that is certified by the Oregon Department of Energy's (ODOE) Residential Energy Tax Credit program and documentation shall be provided that work demonstrates conformance to ODOE duct performance standards.

A vented frame construction, which shall provide full required ceiling insulation value to the outside of exterior walls.

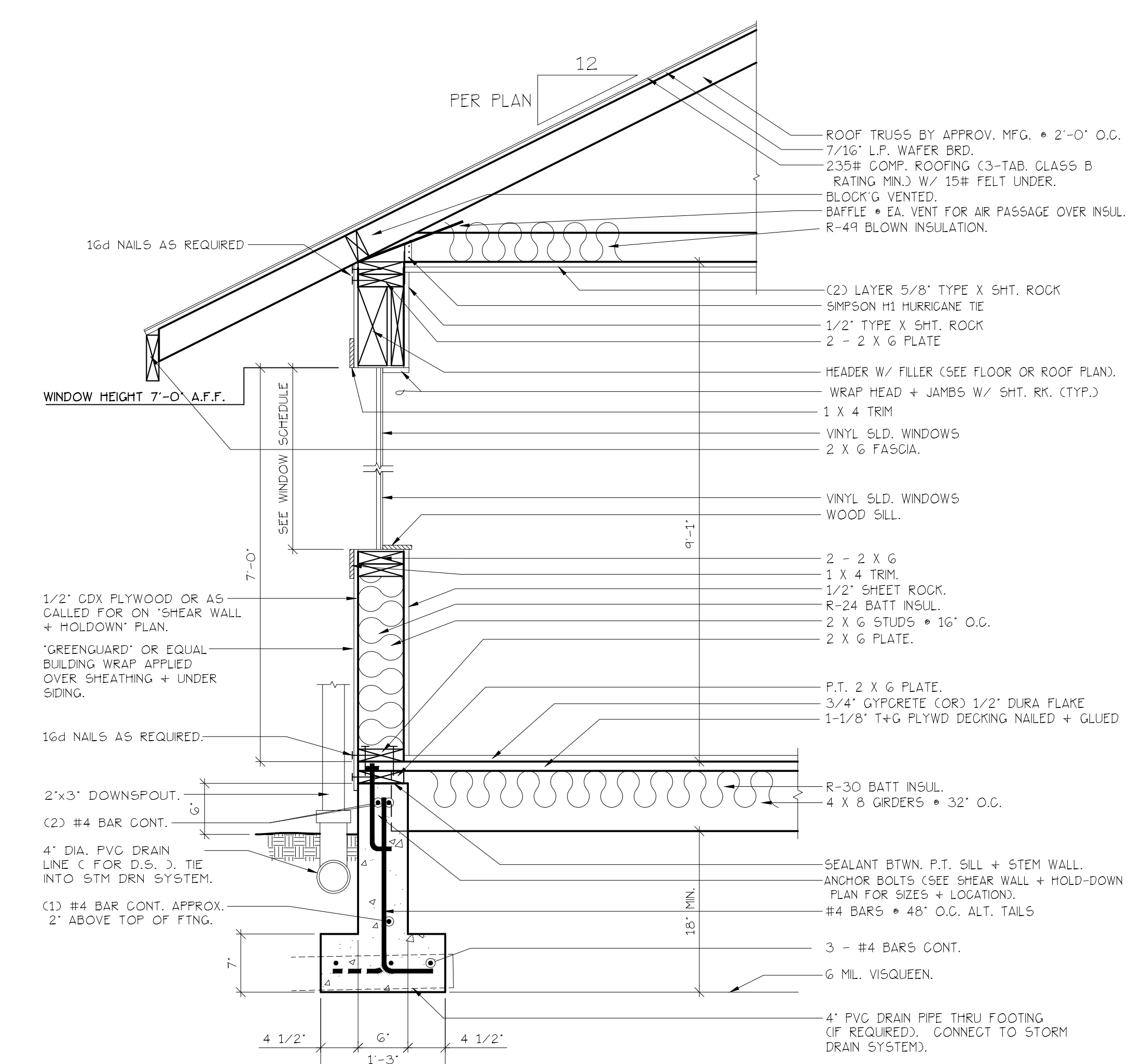
The maximum vented ceiling surface area shall not be greater than 50 percent of the total heated space floor area unless vaulted area has a U-factor no greater than U-0.031.

Solar electric system size shall include documentation indicating that total solar resource fraction is not less than 75 percent.

Solar water heating panels shall be Solar Rating and Certification Corporation (SRCC) Standard OQ-300 certified and labeled, with documentation indicating that total solar resource fraction is not less than 75 percent.



**SECTION**  
SCALE: 1/4" = 1'-0"  
**A12.3**



**TYP. EXTERIOR WALL**  
SCALE: 1" = 1'-0"

NO CHANGES, MODIFICATIONS OR REVISIONS TO BE MADE TO THIS DRAWING WITHOUT THE AUTHORIZATION FROM THE DESIGN ENGINEER.  
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

Design: P.L.M.  
Drawn: G.L.D./A.R.T.  
Checked: M.D.G.  
Date: Oct-21  
Scale: AS SHOWN

JOB # 7314  
REGISTERED PROFESSIONAL ENGINEER  
9654  
OREGON  
JULY 14, 1978  
MARK D. GREY  
Renew date: June 30, 2023



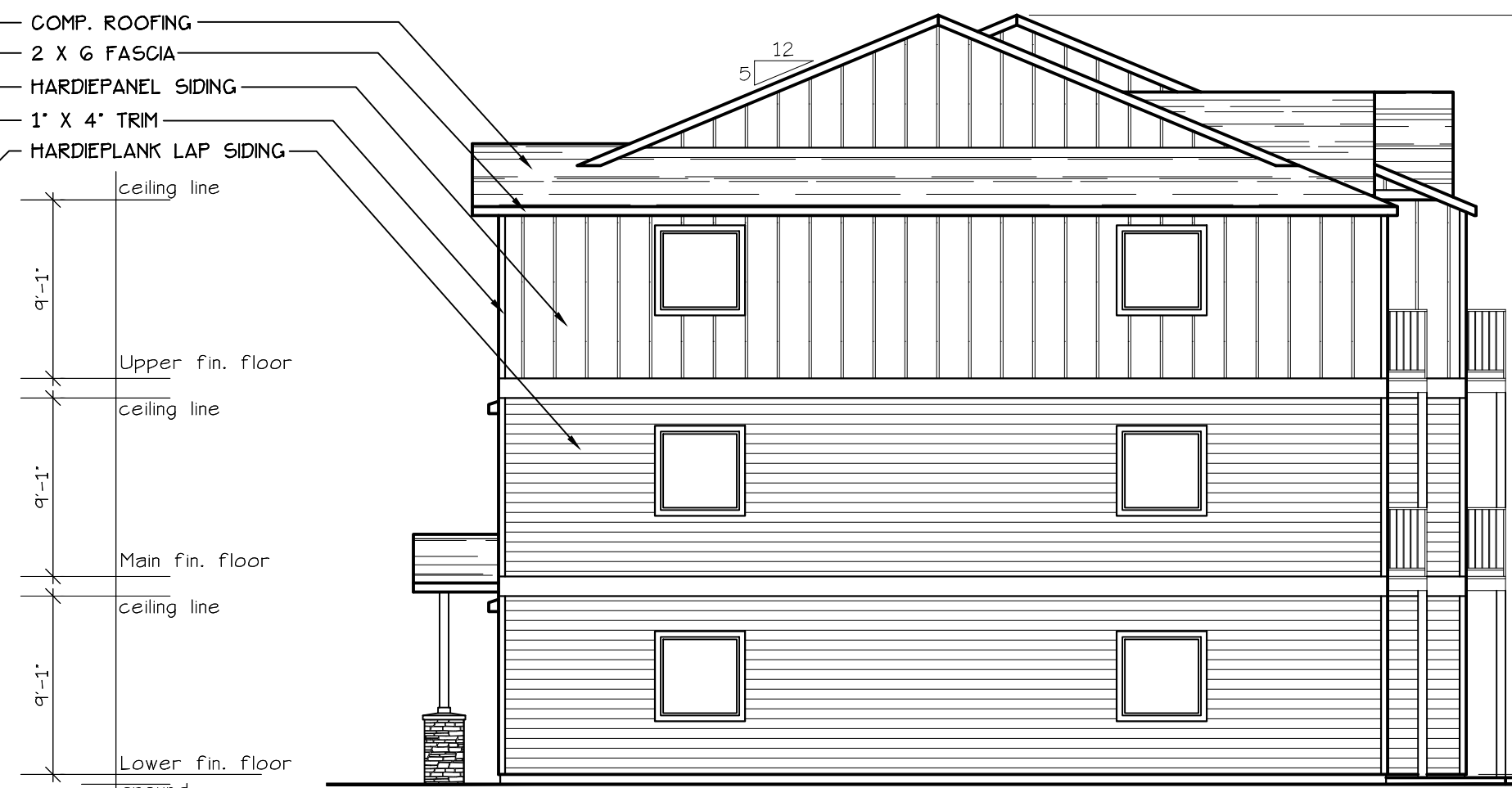
**EAST ELEVATION** (TYPE B UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 13,19,23,26,+29



**NORTH ELEVATION** (TYPE B UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 13,19,23,26,+29



**WEST ELEVATION** (TYPE B UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 13,19,23,26,+29



**SOUTH ELEVATION** (TYPE B UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 13,19,23,26,+29

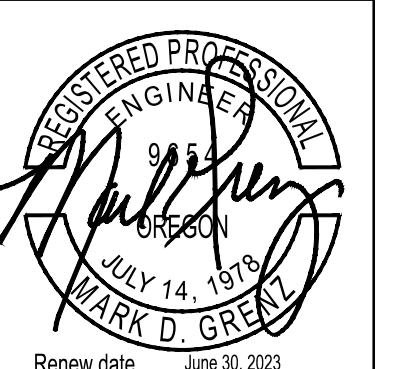
COMP. ROOFING  
2 X 6 FASCIA  
HARDEPANEL SIDING  
1' X 4' TRIM  
HARDEPLANK LAP SIDING

COMP. ROOFING  
2 X 6 FASCIA  
HARDEPANEL SIDING  
1' X 4' TRIM  
HARDEPLANK LAP SIDING

NO CHANGES, MODIFICATIONS OR REVISIONS TO BE MADE TO THIS DRAWING WITHOUT THE AUTHORIZATION FROM THE DESIGN ENGINEER.  
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

Design: P.L.M.  
Drawn: G.L.D./A.R.T.  
Checked: M.D.G.  
Date: Oct-21  
Scale: AS SHOWN

JOB # 7314



Renew date: June 30, 2023

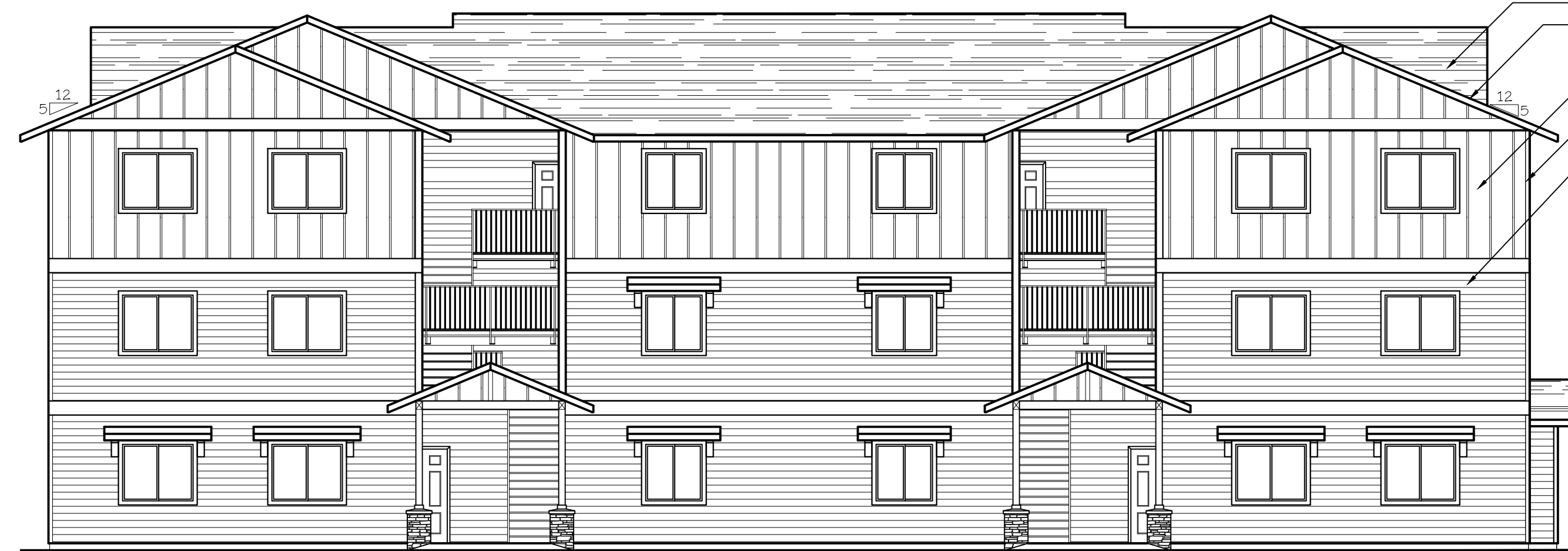
**A13.80**



WEST ELEVATION (BLD. 15 + 36)  
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION (TYPE D UNITS)  
SCALE: 1/8" = 1'-0"  
(BLD. 15 + 36)



EAST ELEVATION (BLD. 15 + 36)  
SCALE: 1/8" = 1'-0"

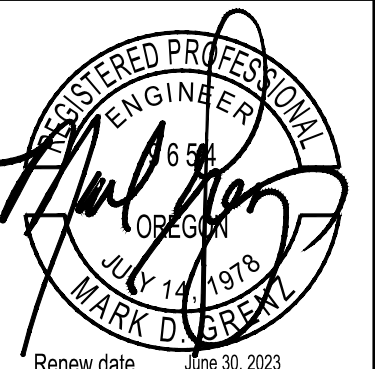


NORTH ELEVATION (TYPE D UNITS)  
SCALE: 1/8" = 1'-0"  
(BLD. 15 + 36)

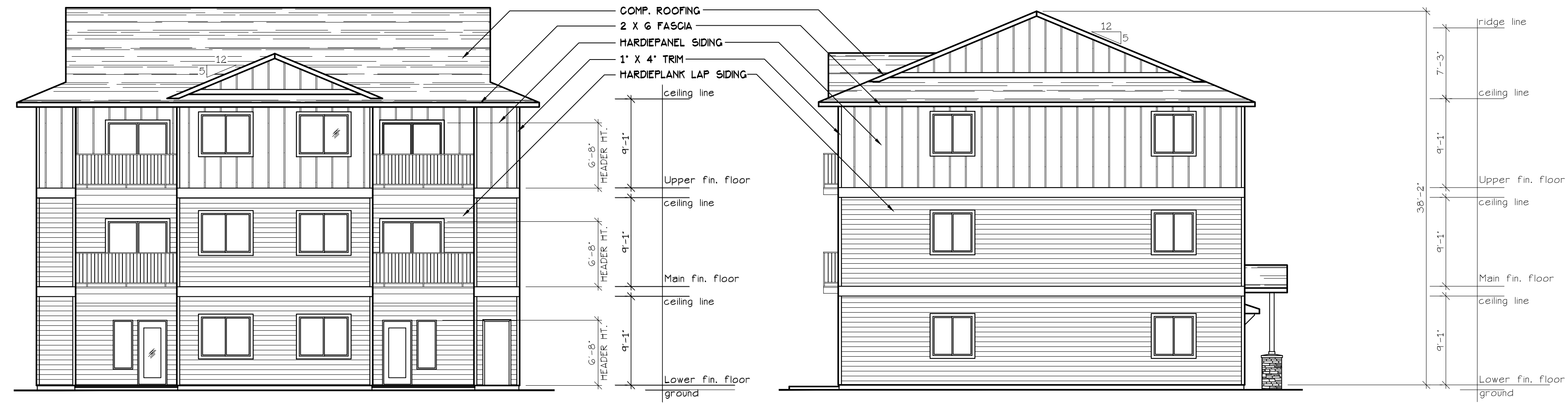
NO CHANGES, MODIFICATIONS OR REVISIONS TO BE MADE TO THIS DRAWING WITHOUT THE AUTHORIZATION FROM THE DESIGN ENGINEER.  
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

8/20/22-4-12 20/01  
A15.90/REV  
Design: P.L.M.  
Drawn: G.L.D./A.R.T.  
Checked: M.D.G.  
Date: Oct-21  
Scale: AS SHOWN

JOB # 7314

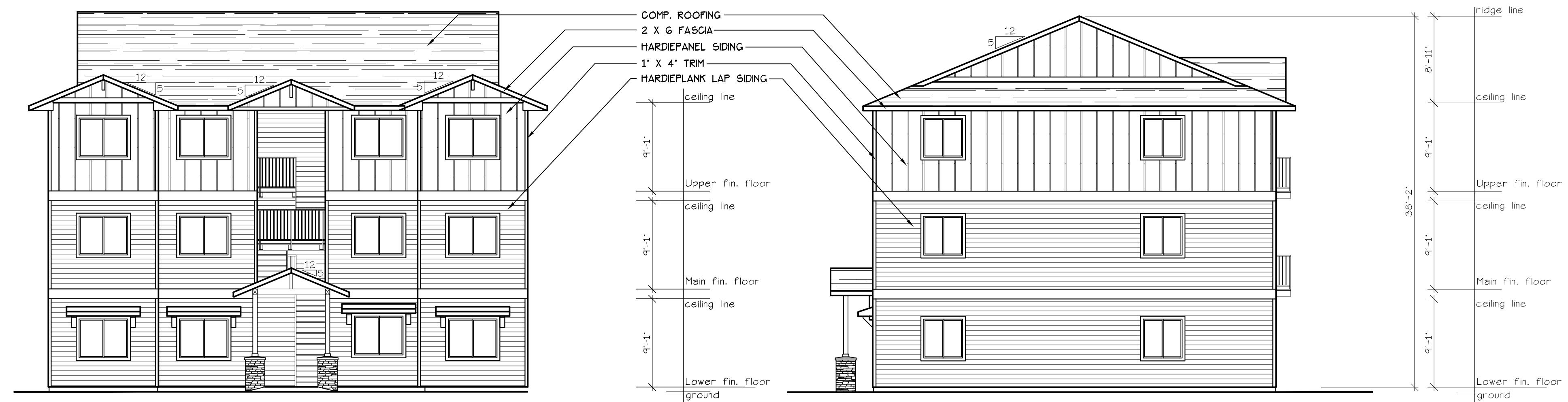


Renew date: 12/31/2023



**NORTHWEST ELEVATION** (TYPE A UNITS)  
SCALE: 1/8" = 1'-0"  
**BLD. 21**

**SOUTHWEST ELEVATION** (TYPE A UNITS)  
SCALE: 1/8" = 1'-0"  
**BLD. 21**



**SOUTHEAST ELEVATION** (TYPE A UNITS)  
SCALE: 1/8" = 1'-0"  
**BLD. 21**

**NORTHEAST ELEVATION** (TYPE A UNITS)  
SCALE: 1/8" = 1'-0"  
**BLD. 21**

NO CHANGES, MODIFICATIONS OR REVISIONS TO BE MADE TO THESE DRAWINGS WITHOUT THE AUTHORIZATION FROM THE DESIGN ENGINEER.  
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

8/22/22-6/29/23  
A21.80/REV  
Design: P.L.M.  
Drawn: G.L.D./A.R.T.  
Checked: M.D.G.  
Date: Oct-21  
Scale: AS SHOWN

JOB # 7314



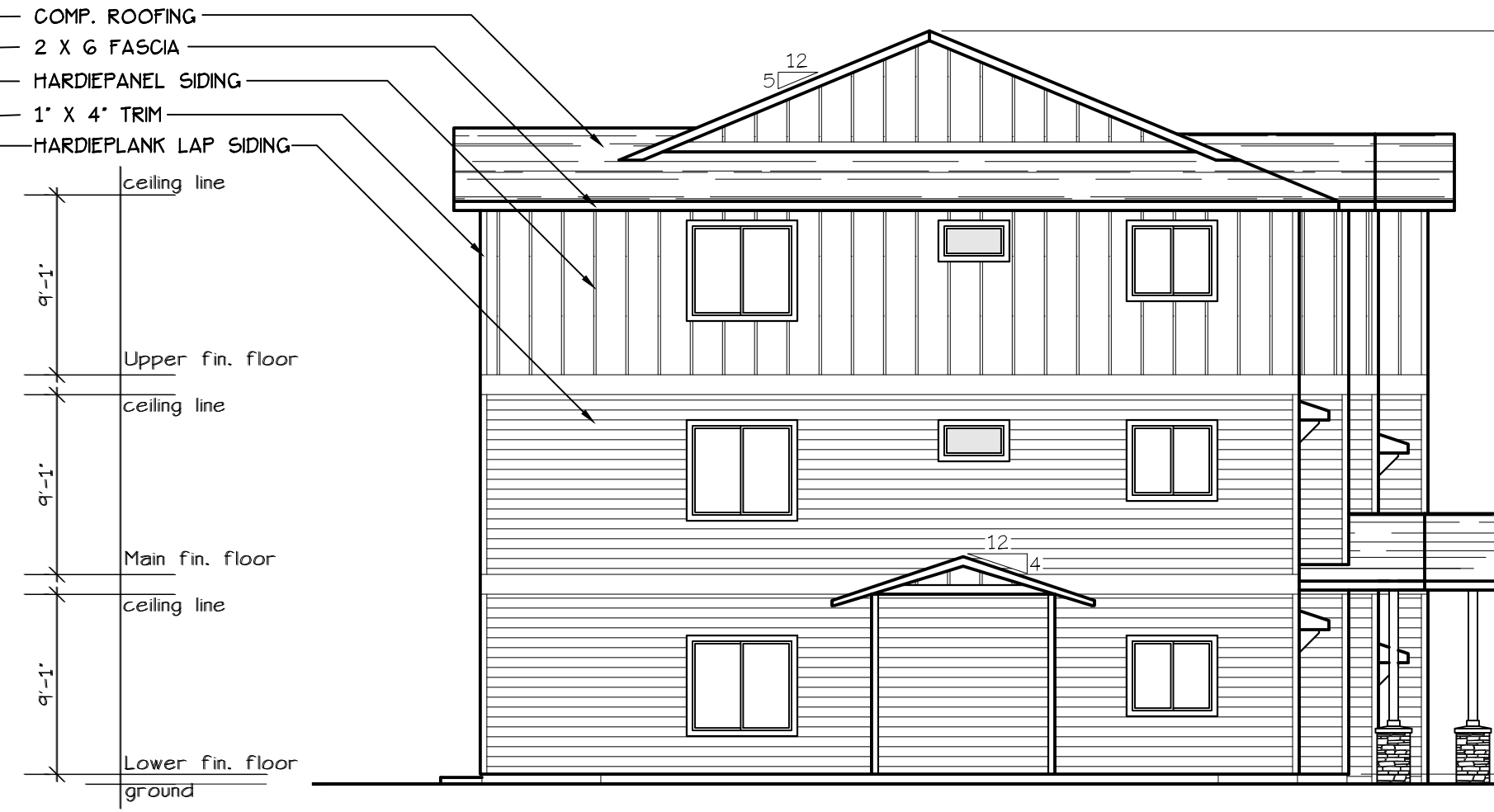
Renew date: APRIL 30, 2023

**A21.80**





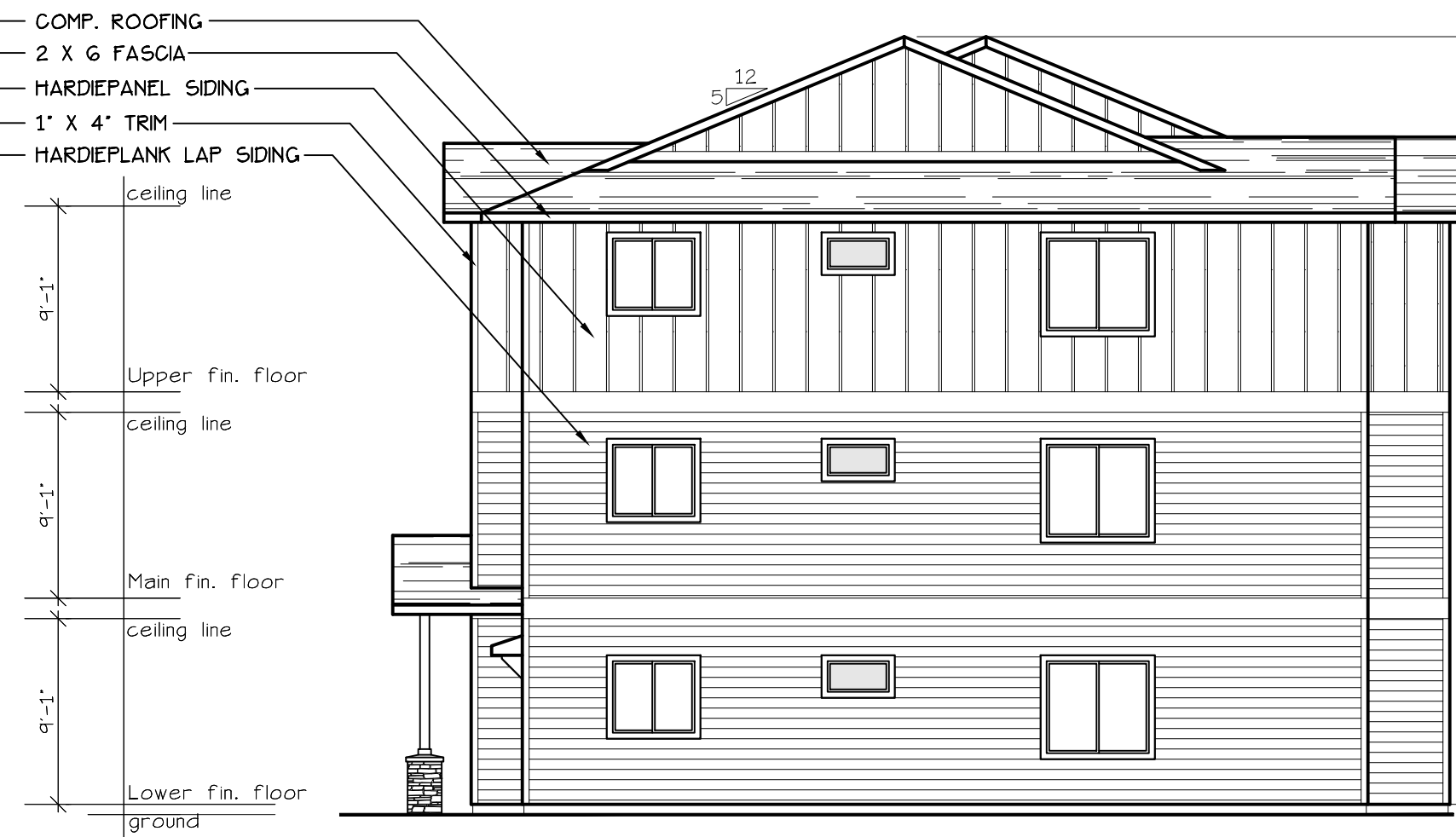
WEST ELEVATION (TYPE E UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 27



SOUTH ELEVATION (TYPE E UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 27



EAST ELEVATION (TYPE E UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 27



NORTH ELEVATION (TYPE E UNITS)  
SCALE: 1/8" = 1'-0"  
BLD. 27

COMP. ROOFING  
2 X 6 FASCIA  
HARDIPANEL SIDING  
1' X 4' TRIM  
HARDIEPLANK LAP SIDING

ceiling line  
Upper fin. floor  
ceiling line  
Main fin. floor  
ceiling line  
Lower fin. floor  
ground

Ridge line  
ceiling line  
Upper fin. floor  
ceiling line  
Main fin. floor  
ceiling line  
Lower fin. floor  
ground

COMP. ROOFING  
2 X 6 FASCIA  
HARDIPANEL SIDING  
1' X 4' TRIM  
HARDIEPLANK LAP SIDING

ceiling line  
Upper fin. floor  
ceiling line  
Main fin. floor  
ceiling line  
Lower fin. floor  
ground

Ridge line  
ceiling line  
Upper fin. floor  
ceiling line  
Main fin. floor  
ceiling line  
Lower fin. floor  
ground

EXHAUST VENT 3'-0"  
CLEAR OF OPERABLE  
WINDOW AREA TYP.

NO CHANGES, MODIFICATIONS OR  
REVISIONS TO BE MADE TO ANY  
OF THESE DRAWINGS WITHOUT WRITTEN  
AUTHORIZATION FROM THE DESIGN  
ENGINEER.  
DIMENSIONS & NOTES TAKE  
PRECEDENCE OVER GRAPHICAL  
REPRESENTATION.

BLD27-A-12 2/10/21  
A27.90/REV.1

Design: P.L.M.  
Drawn: G.L.D./A.R.T.  
Checked: M.D.G.  
Date: Oct-21  
Scale: AS SHOWN

