



# NOTICE of FILING

## LAND USE REQUEST AFFECTING THIS AREA

*There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.*

*Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.*

<b>CASE NUMBER:</b>	Class 3 Site Plan Review / Class 2 Adjustment / Class 2 Driveway Approach Permit Case No. SPR-ADJ-DAP23-09
<b>PROPERTY LOCATION:</b>	5400 Block of Turner Rd SE, Salem OR 97317
<b>NOTICE MAILING DATE:</b>	March 17, 2023
<b>PROPOSAL SUMMARY:</b>	Proposed development of a new 479,000 square foot warehousing and distribution building.
<b>COMMENT PERIOD:</b>	<b>All written comments must be submitted to City Staff no later than <u>5:00 p.m. Friday, March 31, 2023</u>. Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.</b>
<b>CASE MANAGER:</b>	<b>Aaron Panko, Planner III</b> , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2356; E-mail: <a href="mailto:APanko@cityofsalem.net">APanko@cityofsalem.net</a>
<b>NEIGHBORHOOD ASSOCIATION:</b>	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i>  Southeast Mill Creek Association (SEMCA), Alan Rasmussen, Land Use Chair; Phone: 503-930-1968; Email: <a href="mailto:arasmussen@modernbuildingsystems.com">arasmussen@modernbuildingsystems.com</a> .
<b>ACCESS:</b>	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
<b>CRITERIA TO BE CONSIDERED:</b>	Salem Revised Code (SRC) Chapter(s) 220.005(f)(3) – Class 3 Site Plan Review; 250.005(d)(2) – Class 2 Adjustment; 804.025(d) – Class 2 Driveway Approach Permit  Salem Revised Code (SRC) is available to view at this link: <a href="http://bit.ly/salemorcode">http://bit.ly/salemorcode</a> . Type in the chapter number(s) listed above to view the applicable criteria.

<b>PROPERTY OWNER(S):</b>	State of Oregon
<b>APPLICANT(S):</b>	Scannell Properties LLC (Scannell Development Company III, Inc., Joel Scannell, Jill Marcotte)
<b>PROPOSAL REQUEST:</b>	A Class 3 Site Plan Review and Class 2 Driveway Approach Permit for development of a new warehousing and distribution building approximately 479,000 square feet in size, with a Class 2 Adjustment to increase the maximum width for a driveway approach from 40 feet as required by 804.050(b)(2), to 50 feet.
<b>APPLICATION PROCESS:</b>	<p>For a portion of property approximately 27.7 acres in size, zoned EC (Employment Center), and located at the 5400 Block of Turner Road SE - 97317 (Marion County Assessors Map and Tax Lot number: 082W080000103).</p> <p>Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.</p> <p>Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p>
<b>MORE INFORMATION:</b>	All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at <a href="https://permits.cityofsalem.net">https://permits.cityofsalem.net</a> . You can use the search function without registering and enter the permit number listed here: 22 124605. Paper copies can be obtained for a reasonable cost.

**PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE**

**For more information about Planning in Salem:**

<http://www.cityofsalem.net/planning>

*It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development*

*Department at 503-588-6173 at least three business days before this meeting or event.*

*TTD/TTY telephone 503-588-6439 is also available 24/7*

# REQUEST FOR COMMENTS

*Si necesita ayuda para comprender esta información, por favor llame 503-588-6173*

**REGARDING:** Class 3 Site Plan Review / Class 2 Adjustment / Class 2 Driveway Approach Permit Case No. SPR-ADJ-DAP23-09

**PROJECT ADDRESS:** 5400 Block of Turner Rd SE, Salem OR 97317

**AMANDA Application No.:** 22-124605-PLN

**COMMENT PERIOD ENDS:** March 31, 2023

**SUMMARY:** Proposed development of a new 479,000 square foot warehousing and distribution building.

**REQUEST:** A Class 3 Site Plan Review and Class 2 Driveway Approach Permit for development of a new warehousing and distribution building approximately 479,000 square feet in size, with a Class 2 Adjustment to increase the maximum width for a driveway approach from 40 feet as required by 804.050(b)(2), to 50 feet.

For a portion of property approximately 27.7 acres in size, zoned EC (Employment Center), and located at the 5400 Block of Turner Road SE - 97317 (Marion County Assessors Map and Tax Lot number: 082W080000103).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

**Comments received by 5:00 p.m. Friday, March 31, 2023**, will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.*

**CASE MANAGER:** Aaron Panko, Planner III, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2356; E-Mail: [APanko@cityofsalem.net](mailto:APanko@cityofsalem.net).

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

**PLEASE CHECK THE FOLLOWING THAT APPLY:**

- 1. I have reviewed the proposal and have no objections to it.
- 2. I have reviewed the proposal and have the following comments: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Name/Agency: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Date: \_\_\_\_\_

**IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM**



NO POSTAGE  
NECESSARY  
IF MAILED  
IN THE  
UNITED STATES

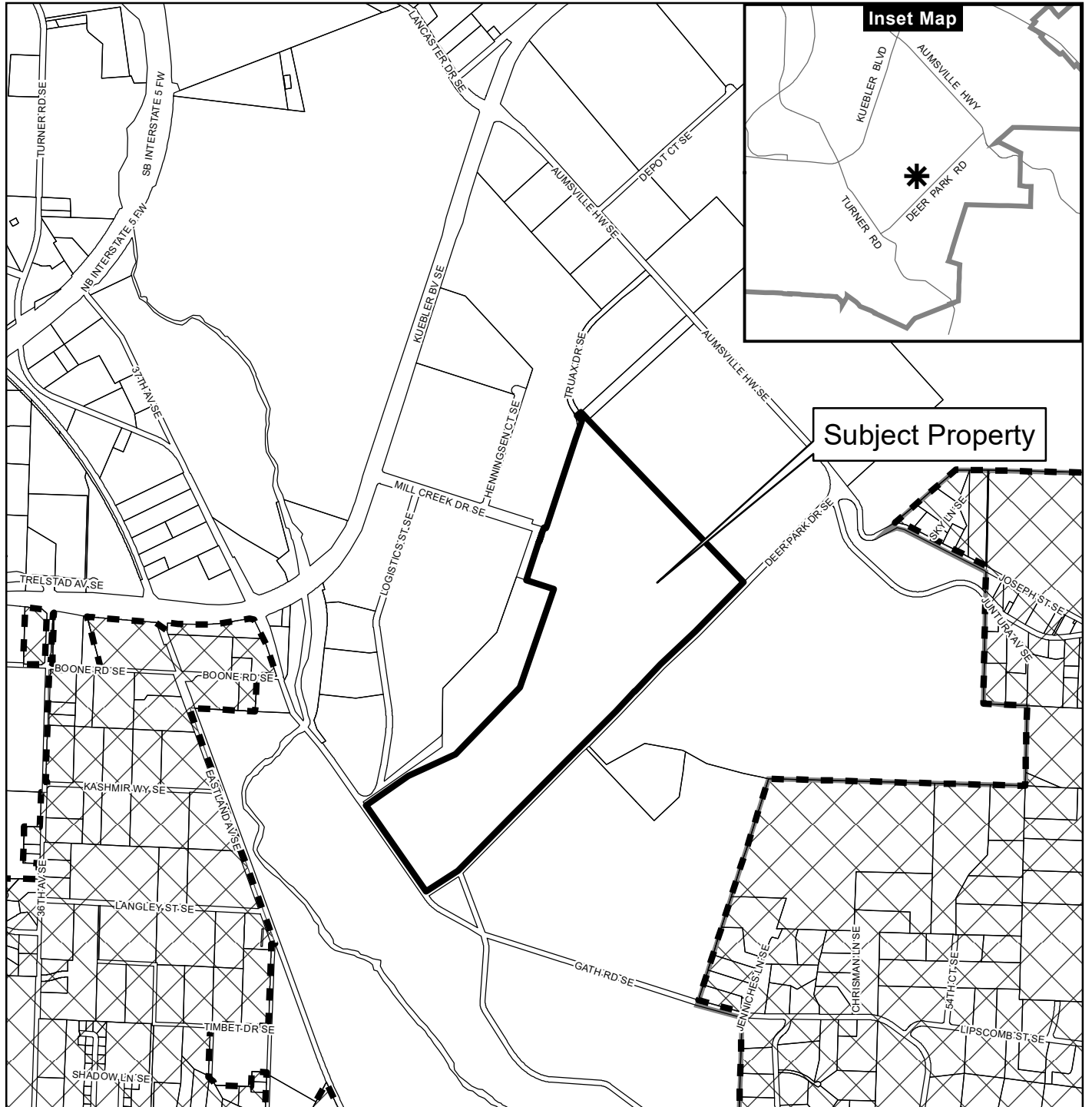
**BUSINESS REPLY MAIL**  
FIRST-CLASS MAIL PERMIT NO. 1508 SALEM, OR

POSTAGE WILL BE PAID BY ADDRESSEE

PLANNING DIVISION  
CITY OF SALEM RM 305  
555 LIBERTY ST SE  
SALEM OR 97301-9907



# Vicinity Map 5400 Block of Turner Road SE



### Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools

Parks

**CITY OF Salem**  
AT YOUR SERVICE  
Community Development Dept.

This product is provided as is, without warranty. In no event is the City of Salem liable for damages from the use of this product. This product is subject to license and copyright limitations and further distribution or resale is prohibited.

010200 400 Feet



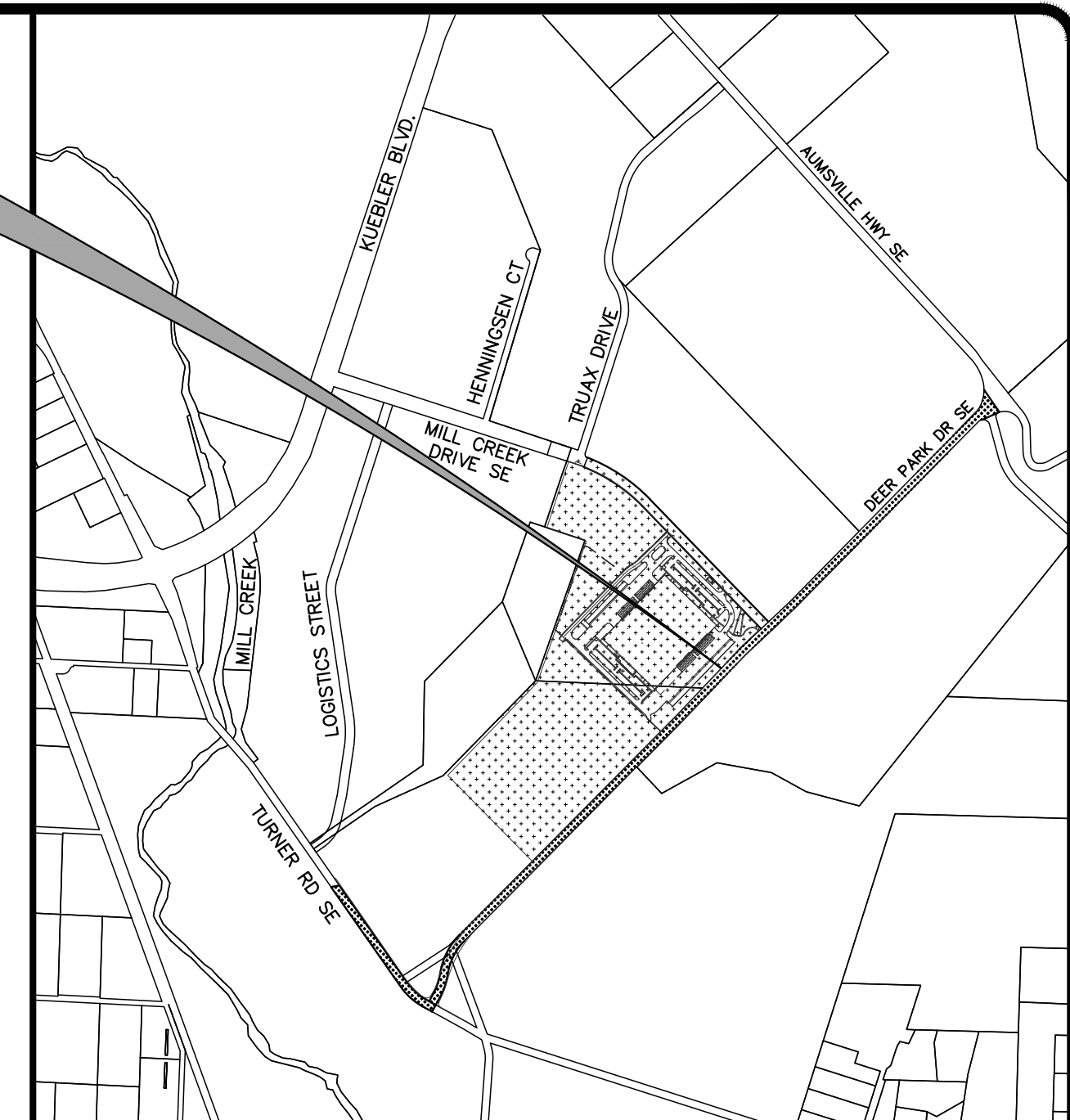
DRAWINGS FOR:

# MILL CREEK CORPORATE CENTER - GENSCO IMPROVEMENTS

FOR:

**MR. JAKE KURTH**  
**SCANNELL PROPERTIES**  
 294 GROVE LANE EAST, STE. 140  
 WAYZATA, MN 55391  
 PH: 612.280.4088  
 JakeK@scannellproperties.com

PROJECT LOCATION



VICINITY MAP

- WALN PHASE - 100% GENSCO SITE IMPROVEMENTS
- MILL CREEK DR SE - 100% STREET & WATER IMPROVEMENTS
- DEER PARK DRIVE SE - 100% STREET IMPROVEMENTS (GENSCO FRONTAGE)
- DEER PARK DRIVE SE - 50% STREET IMPROVEMENTS (OUTSIDE GENSCO FRONTAGE)
- TURNER RD SE - 50% STREET, WATER, & SANITARY SEWER IMPROVEMENTS

GENERAL LEGEND

ABBREVIATIONS

A.C. or ASPH. ASPHALTIC CONCRETE	IRR. IRRIGATION
A.D. AREA DRAIN	INV. INVERT
ASSY. ASSEMBLY	J.B. JUNCTION BOX
BLDG. or BLD. BUILDING	L.P. LIGHT POLE
BW. BOTTOM OF WALL	M. METER, MAIN
CATV. CABLE TELEVISION	M.B. MAILBOX
C.B. CATCH BASIN	M.H. MANHOLE
C.O. CLEAN-OUT	O.H. OVER-HEAD
CONC. CONCRETE	P./L. or P. PROPERTY LINE
C.L. or C. CENTERLINE	P.P. POWER POLE
D.I. DUCTILE IRON	PVC POLYVINYL CHLORIDE
E.G. EDGE OF GRAVEL	PWR or P. POWER
E.O.P. or E.P. EDGE OF PAVEMENT	R. or RAD. RADIUS
ELEV. ELEVATION	R.O.W. or R/W. RIGHT-OF-WAY
EX. or EXIST. EXISTING	SAN. SEWER or S.S. SANITARY SEWER
F.D.C. FIRE DEPT. CONNECTOR	ST.D. or S.D. STORM DRAIN
FT. FEET	SVC. SERVICE
F.F. FINISH FLOOR	S/W SIDEWALK
F.G. FINISH GRADE	T.C. TOP OF CURB
F.H. FIRE HYDRANT	TEL. or T. TELEPHONE
F.I. FIELD INLET	TRANS. TRANSFORMER
F.M. FORCE MAIN	TRAF. SIG. or T.S. TRAFFIC SIGNAL
GRAV. GRAVEL	TW. TOP OF WALL
G.M. GAS METER	TYP. TYPICAL
G.P. GATE POST	U.G. or U/G. UNDER GROUND
GS. GROUND SHOT	UTIL. UTILITY
G.V. GAS VALVE	W. WATER
H. HANDICAP	WAT. or W. WATER
HYD. HYDRANT	WLM. WETLANDS MARKER
I.R. IRON ROD	W.M. WATER METER
I.P. IRON PIPE	Y.P.C. YELLOW PLASTIC CAP

SYMBOLS

AD or III AREA DRAIN	○ or III CATCH BASIN	○ CO SEWER CLEANOUT	⊗ FIRE HYDRANT	⊗ GAS VALVE	⊗ WATER VALVE	⊗ WATER METER	⊗ DOWN SPOUT	⊗ MANHOLE TELEPHONE	⊗ MANHOLE STORM DRAIN	⊗ MANHOLE SAN. SEWER	⊗ TREES - *TREE NAME* DIAMETER (INCHES)/DRIP RADIUS (FEET) NOTE: DIAMETER MEASURED AT BREAST HEIGHT
⊗ SIGN POST	⊗ POWER PEDESTAL	⊗ TELEPHONE PEDESTAL	⊗ CATV PEDESTAL	⊗ MAIL BOX	⊗ IRRIGATION VALVE	⊗ STREET LIGHTS	⊗ UTILITY/POWER POLES	⊗ TEST PIT	⊗ MONUMENT FOUND		

LINE TYPES

CATV LINE	COM. LINE	EASEMENT LINE	FENCE LINE	FIBER OPTIC	GAS LINE	OVERHEAD LINE	PHONE LINE	POWER LINE	SANITARY SEWER	STORM DRAIN	WATER LINE
--- CATV --- CATV --- CATV --- CATV --- CATV --- CATV --- CATV ---	--- COM --- COM --- COM --- COM --- COM --- COM --- COM ---	--- EASEMENT --- EASEMENT --- EASEMENT --- EASEMENT --- EASEMENT --- EASEMENT --- EASEMENT ---	--- FENCE --- FENCE --- FENCE --- FENCE --- FENCE --- FENCE --- FENCE ---	--- FIBER --- FIBER --- FIBER --- FIBER --- FIBER --- FIBER --- FIBER ---	--- GAS --- GAS --- GAS --- GAS --- GAS --- GAS --- GAS ---	--- OH --- OH --- OH --- OH --- OH --- OH --- OH ---	--- PH --- PH --- PH --- PH --- PH --- PH --- PH ---	--- ELEC --- ELEC --- ELEC --- ELEC --- ELEC --- ELEC --- ELEC ---	--- SS --- SS --- SS --- SS --- SS --- SS --- SS ---	--- SD --- SD --- SD --- SD --- SD --- SD --- SD ---	--- W --- W --- W --- W --- W --- W --- W ---

BENCHMARK UTILIZED: CITY OF SALEM PID - 470260  
 ELEV: 244.69 NGVD 29  
 ALUMINUM CAP LOCATED AT THE SOUTHWEST CORNER OF BRIDGE ON KUEBLER BLVD OVER MILL CREEK, 1.1 MILES EAST OF I-5, LOCATED ON TOP OF GM RAIL, 4" EAST OF WEST END OF RAIL



Know what's below.  
 Call before you dig.

UTILITY CONTACTS			
COMPANY	NAME	PHONE	EMAIL
CITY OF SALEM	ENGINEERING	503-588-6211	
	DISPATCH	503-588-6333	
PGE (DISTRIBUTION)	KEN SPENCER	503-970-7200	kenneth.spencer@PGN.com
PGE (LIGHTING)	ALLISON BAZIAK	503-463-4381	Allison.Baziak@PGN.com
NW NATURAL	CHRIS FLU	503-585-6611	ctf@nwnatural.com
LUMEN TECHNOLOGIES (CENTURY LINK)	TRAVIS VAUGHN	503-399-4931	Travis.Vaughn@CenturyLink.com
COMCAST	JOSH FALLIN	503-365-5555	josh.fallin@centurylink.com
	DAVE HAMMILL	503-924-9120	David_Hammill@Comcast.net

SEE GS-2 FOR SITE IMPROVEMENT DRAWING INDEX - SEE GP-1 FOR PUBLIC IMPROVEMENT DRAWING INDEX

VERIFY SCALE THIS IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON SCALES ACCORDINGLY	DATE: 02/2023
DSN. SW	NO. 1
DRN. RS	DESCRIPTION
CKD. SW	REVISIONS
BY	

**WESTTECH ENGINEERING, INC.**  
 CONSULTING ENGINEERS AND PLANNERS  
 3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302  
 Phone: (503) 585-2474 Fax: (503) 585-3966  
 E-mail: westtech@westtech-eng.com

SCANNELL PROPERTIES

MILL CREEK CORPORATE CENTER - GENSCO IMPROVEMENTS

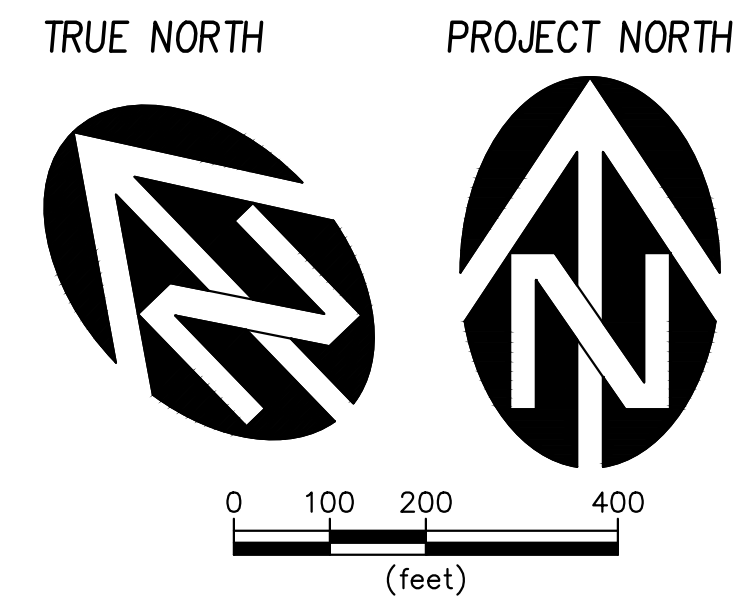
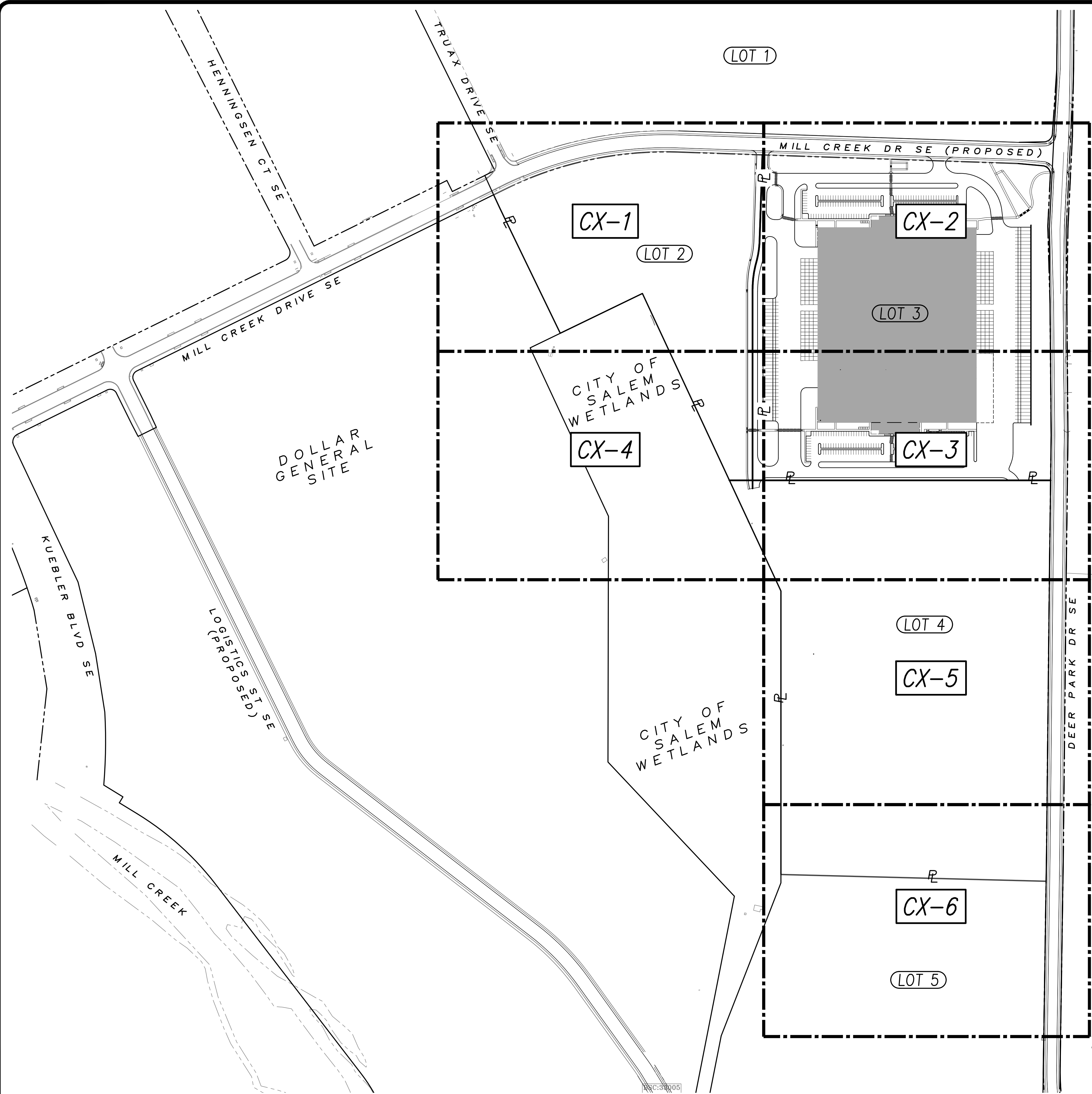
COVER SHEET, LEGEND, & VICINITY MAP

DRAWING GS-1

JOB NUMBER 3272.1000

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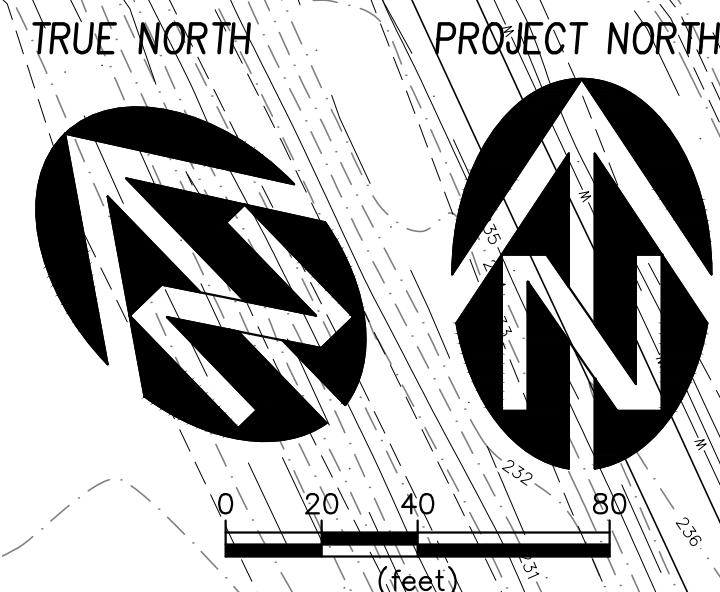
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- SITE DRAWINGS:**
- CE-X: EXISTING CONDITIONS, DEMOLITION, & EROSION CONTROL PLANS
  - CG-X: SITE & DIMENSIONING PLANS
  - CP-X: SURFACING PLANS
  - CF-X: FIRE ACCESS/SIGNAGE PLANS
  - CN-X: SIGNING & STRIPING PLANS
  - CU-X: UTILITY PLANS

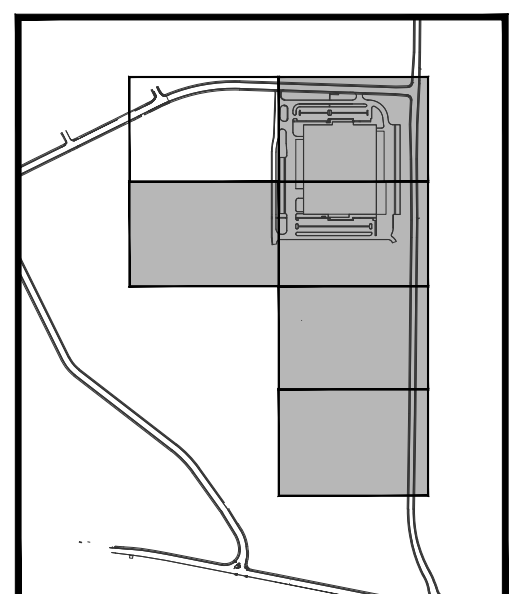
<p>SCANNELL PROPERTIES</p> <p>MILL CREEK CORPORATE CENTER - GENSCO IMPROVEMENTS</p> <p>OVERALL SHEET KEY - WALN II SITE</p>	<p>DRAWING</p> <p><b>GS-3</b></p> <p>JOB NUMBER</p> <p>3272.1000</p>								
<p>WESTECH ENGINEERING, INC.          CONSULTING ENGINEERS AND PLANNERS</p> <p>3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302          Phone: (503) 585-2474 Fax: (503) 585-3966          E-mail: westech@westech-eng.com</p>									
<p>VERIFY SCALE          BAR IS ONE INCH ON ORIGINAL DRAWING          IF NOT ONE INCH ON SCALES ACCURACELY</p> <p>DSN. SW          DRN. RS          CKD. SW</p> <p>DATE: 02/2023</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	BY	1			
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**EROSION CONTROL LEGEND**

	SILT FENCE
	INLET PROTECTION USE BIO BAGS ON CURB INLET CATCH BASINS, USE SILT SACKS ON STANDARD CATCH BASINS
	JUTE MAT SLOPE PROTECTION



MATCH LINE - SEE CE-10 FOR CONTINUATION

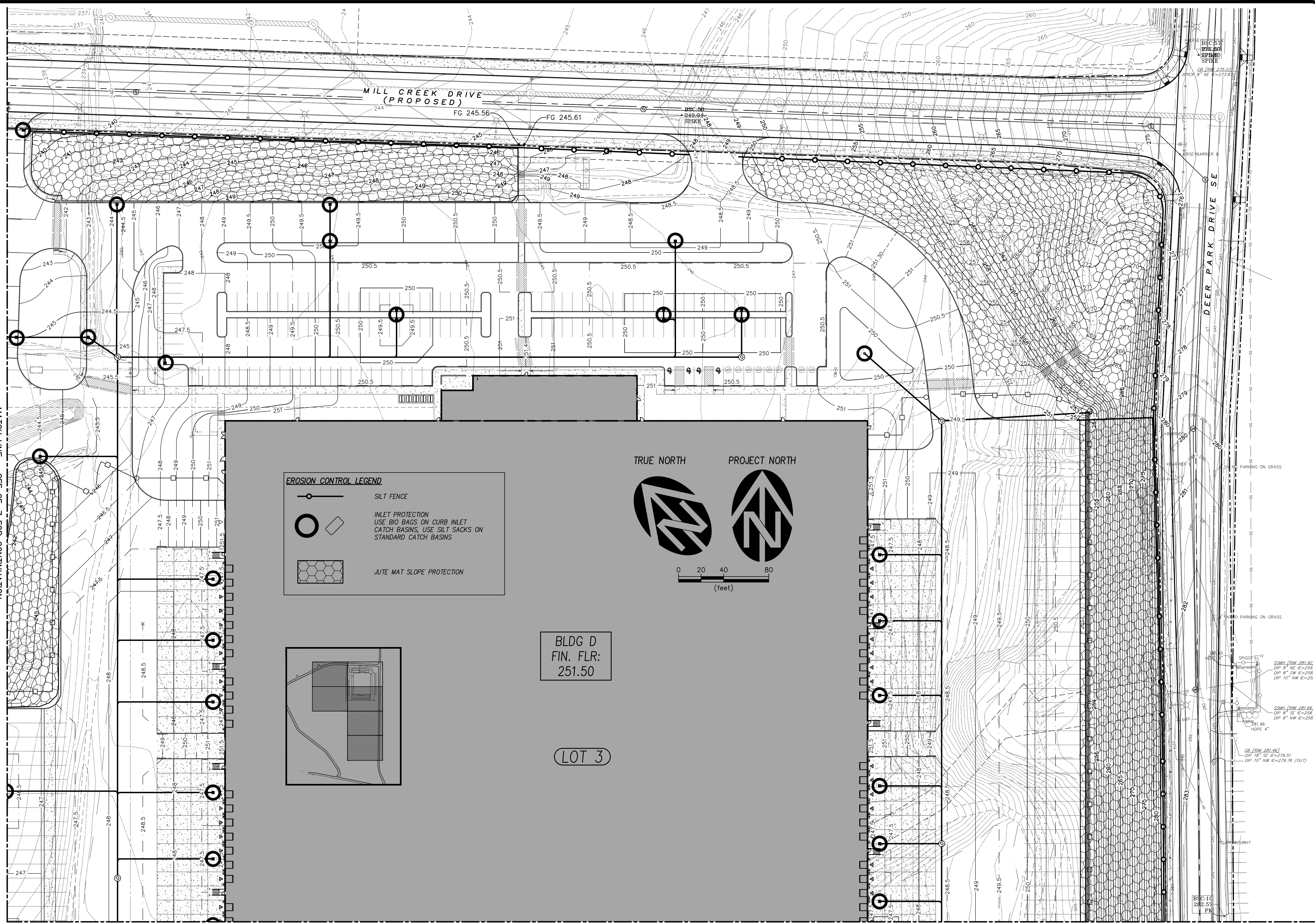
MATCH LINE - SEE CE-8 FOR CONTINUATION

SCANNELL PROPERTIES		MILL CREEK CORPORATE CENTER - GENSCO IMPROVEMENTS		EPSC - SITE & UTILITIES									
DRAWING <b>CE-7</b>		JOB NUMBER 3272.1000		DATE 02/20/23									
WESTTECH ENGINEERING, INC. CONSULTING ENGINEERS AND PLANNERS 3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302 Phone: (503) 585-2474 Fax: (503) 585-3966 E-mail: westtech@westtech-eng.com				<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> <tr> <td>1</td> <td></td> <td></td> <td></td> </tr> </table>		NO.	DATE	DESCRIPTION	BY	1			
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<p>VERIFY SCALE          BAR IS ONE INCH ON ORIGINAL DRAWING          IF NOT ONE INCH ON SCALES ACCORDINGLY</p>		<p>DSN. SW          DRN. RS          CKD. SW</p>		<p>DATE: 02/20/23</p>									



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MATCH LINE - SEE CE-7 FOR CONTINUATION



**EROSION CONTROL LEGEND**

- SILT FENCE
- INLET PROTECTION  
USE BIO BAGS ON CURB INLET  
CATCH BASINS, USE SILT SACKS ON  
STANDARD CATCH BASINS
- JUTE MAT SLOPE PROTECTION

TRUE NORTH      PROJECT NORTH

0    20    40    80  
 (feet)

BLDG D  
 FIN. FLR:  
 251.50

LOT 3

MATCH LINE - SEE CE-9 FOR CONTINUATION

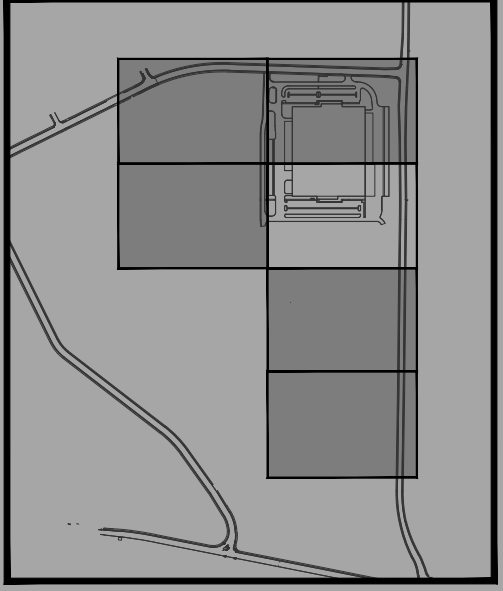
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WESTTECH ENGINEERING, INC. CONSULTING ENGINEERS AND PLANNERS		EPSC - SITE & UTILITIES		DATE: 02/2023		NO. 1	
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302 Phone: (503) 585-2474 Fax: (503) 585-3966 E-mail: westtech@westtech-eng.com		REVISIONS		DESCRIPTION		BY	
				VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON SCALES ACCURACLY		DSN. SW DRN. RS CKD. SW	

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MATCH LINE - SEE CE-8 FOR CONTINUATION

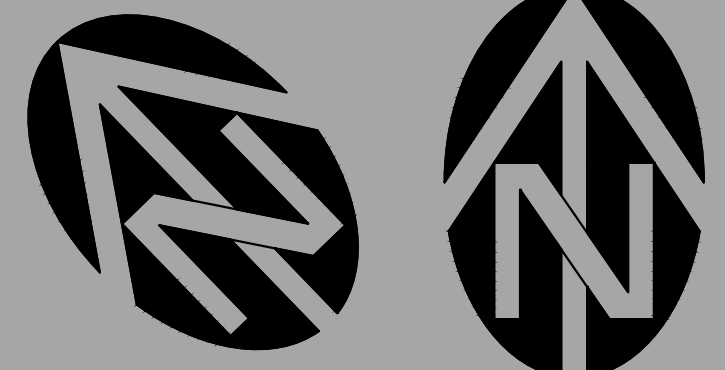
**EROSION CONTROL LEGEND**

- SILT FENCE
- INLET PROTECTION  
USE BIO BAGS ON CURB INLET  
CATCH BASINS, USE SILT SACKS ON  
STANDARD CATCH BASINS
- JUTE MAT SLOPE PROTECTION

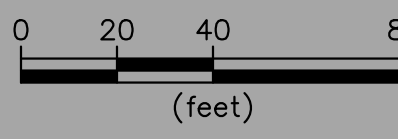


BLDG D  
 FIN. FLR:  
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TRUE NORTH PROJECT NORTH



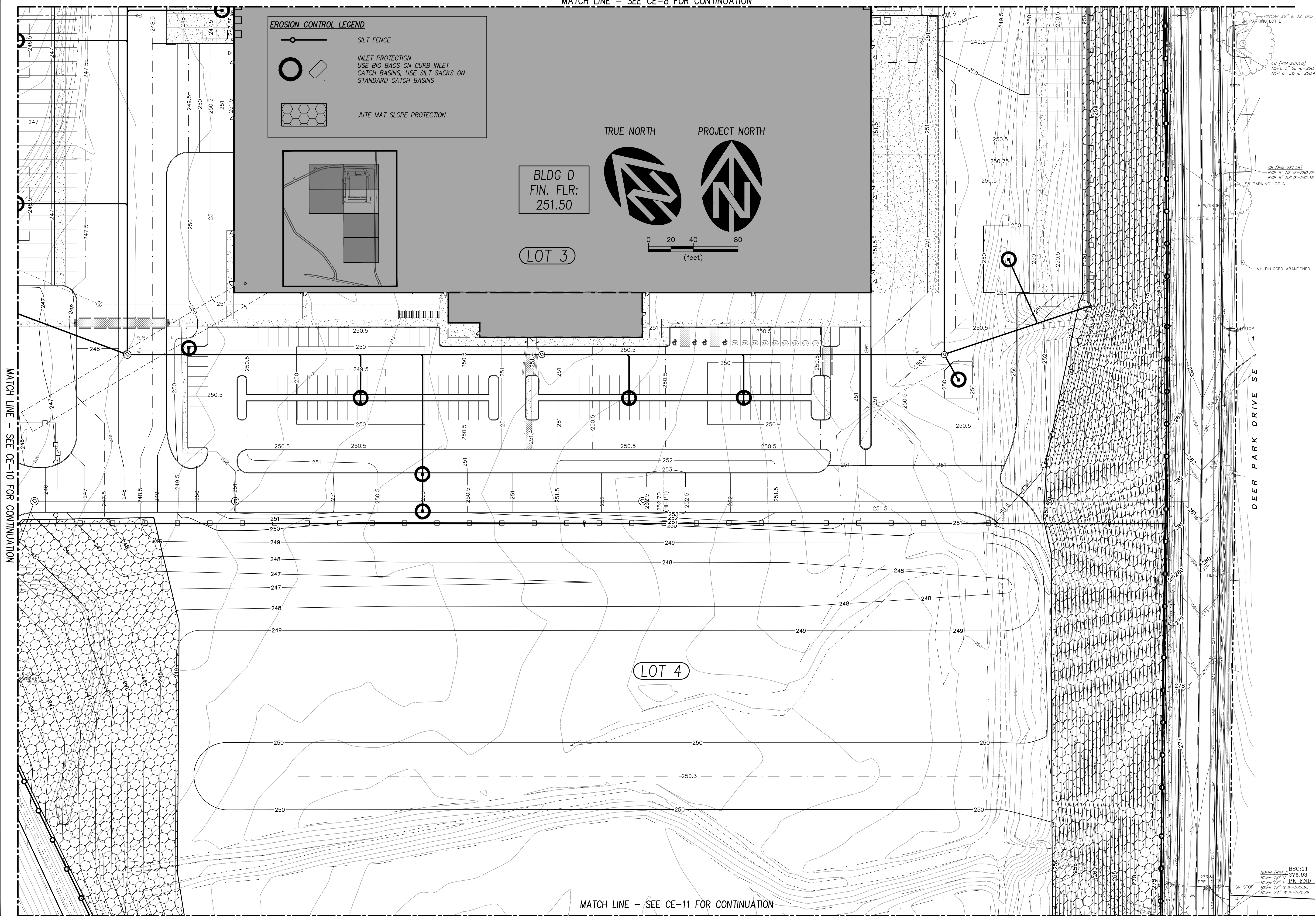
LOT 3



LOT 4

MATCH LINE - SEE CE-11 FOR CONTINUATION

MATCH LINE - SEE CE-10 FOR CONTINUATION

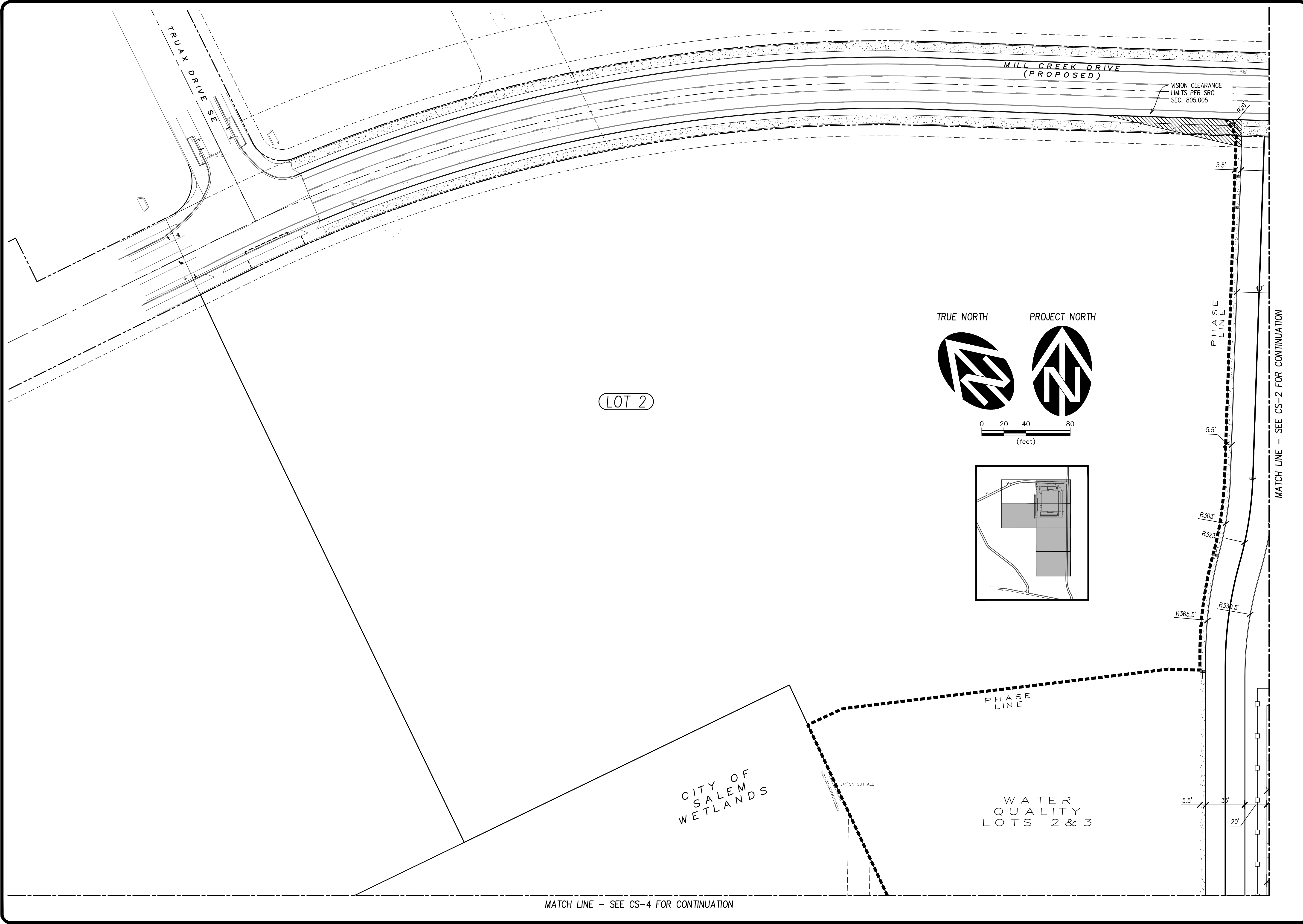


DEER PARK DRIVE SE

SCANNELL PROPERTIES		MILL CREEK CORPORATE CENTER - GENSCO IMPROVEMENTS		DRAWING <b>CE-9</b>		JOB NUMBER 3272.1000	
WESTTECH ENGINEERING, INC. CONSULTING ENGINEERS AND PLANNERS		EPSC - SITE & UTILITIES		DATE: 02/20/2023		DESCRIPTION REVISIONS	
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302 Phone: (503) 585-2474 Fax: (503) 585-3966 E-mail: westtech@westtech-eng.com		REVIEW		NO. 1		BY	
VERIFIED SCALE BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON SCALES ACCURACIES		DATE: 02/20/2023		NO. 1		BY	

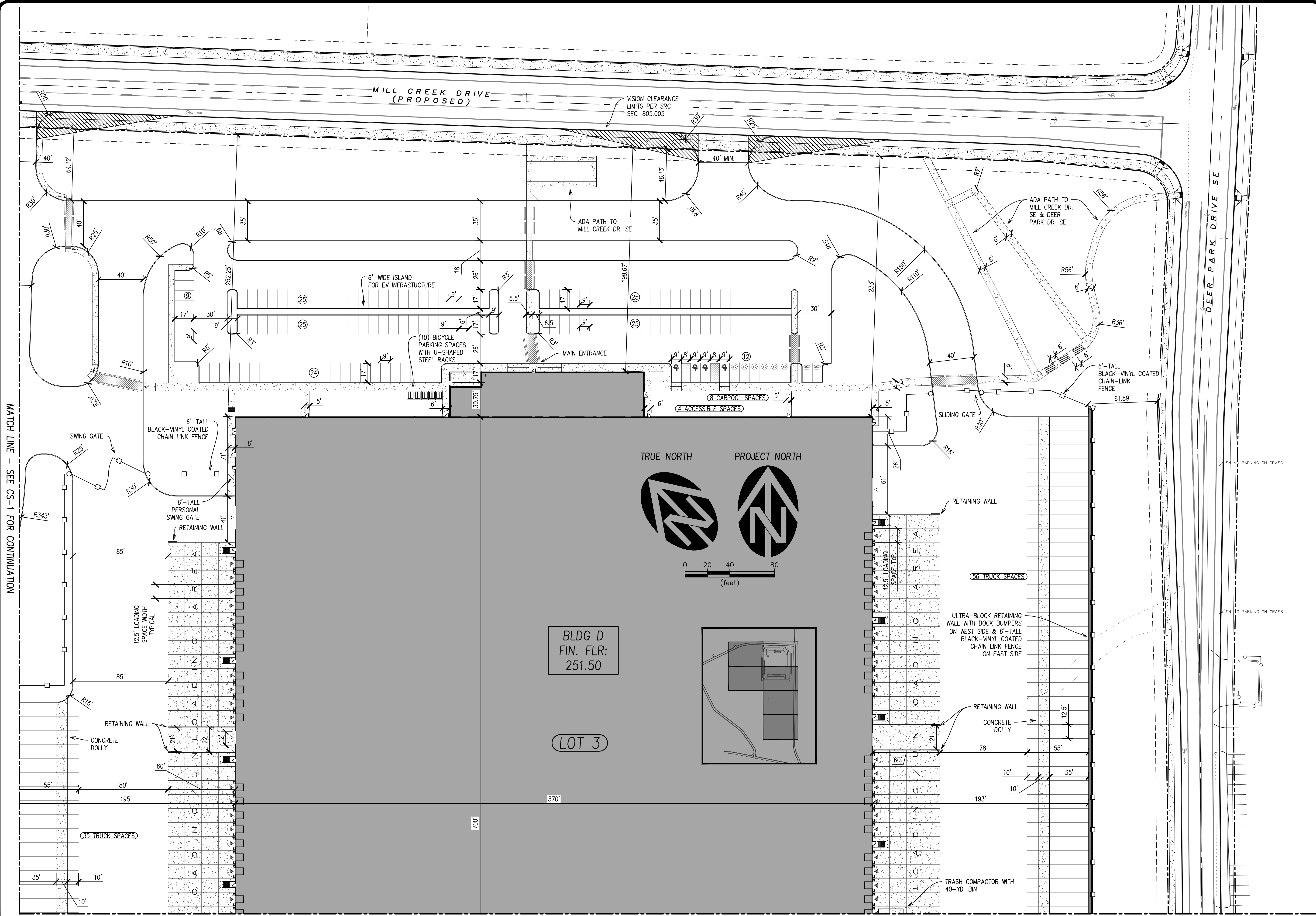


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SCANNELL PROPERTIES		MILL CREEK CORPORATE CENTER - GENSCO IMPROVEMENTS		SITE & DIMENSIONING PLAN									
DRAWING CS-1		JOB NUMBER 3272.1000		DATE: 02/2023									
WESTTECH ENGINEERING, INC. CONSULTING ENGINEERS AND PLANNERS 3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302 Phone: (503) 585-2474 Fax: (503) 585-3966 E-mail: westtech@westtech-eng.com				<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> <tr> <td>1</td> <td></td> <td></td> <td></td> </tr> </table>		NO.	DATE	DESCRIPTION	BY	1			
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MATCH LINE - SEE CS-1 FOR CONTINUATION

MATCH LINE - SEE CS-3 FOR CONTINUATION

<p>VERIFY SCALE          BAR IS ONE INCH ON ORIGINAL DRAWING          0 IF NOT ONE INCH ON SCALES ACCURACLY</p>		<p>DATE: 02/2023</p>
<p>DSN. SW</p>	<p>DRN. RS</p>	<p>NO. 1</p>
<p>CKD. SW</p>	<p>DESCRIPTION</p>	<p>REVISIONS</p>
<p>BY</p>	<p>DATE</p>	<p>NO.</p>

**REVIEW**

REGISTERED PROFESSIONAL ENGINEER  
 CIVIL  
 STEVEN H. STEVENS  
 No. 16  
 STATE OF OREGON  
 EXPIRES: 6/30/2024

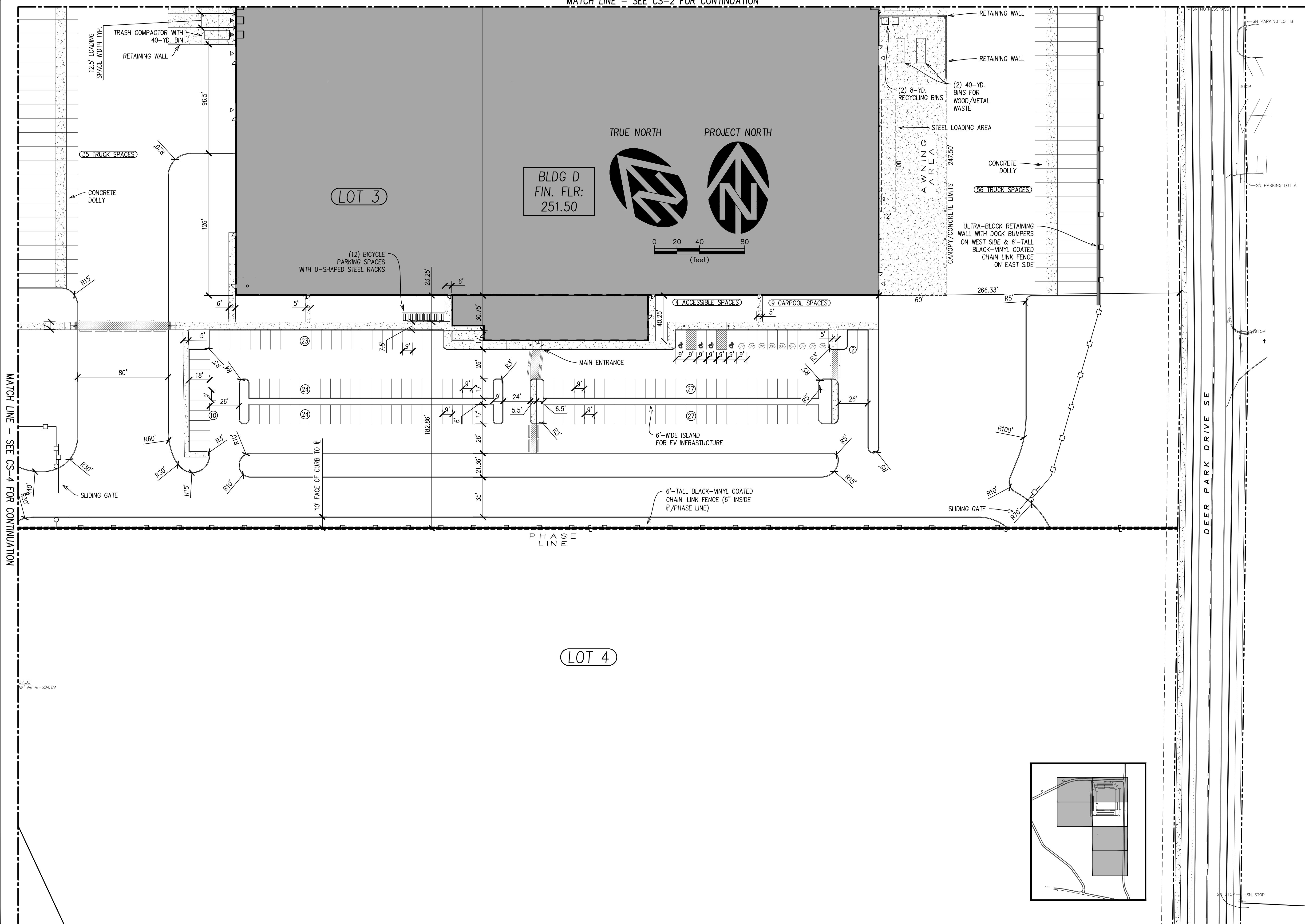
WESTTECH ENGINEERING, INC.  
 CONSULTING ENGINEERS AND PLANNERS  
 3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302  
 Phone: (503) 585-2474 Fax: (503) 585-3966  
 E-mail: westtech@westtech-eng.com

SCANNELL PROPERTIES  
 MILL CREEK CORPORATE CENTER - GENSCO IMPROVEMENTS  
**SITE & DIMENSIONING PLAN**

DRAWING  
**CS-2**  
 JOB NUMBER  
**3272.1000**

2/16/2023 2:24:40 PM  
 R:\Data\Scannell Properties\WCCC - Mill Creek Drive & Deer Park Drive\Civil\Plots\CS - SITE PLAN.dwg, (CS-3 Tab)

MATCH LINE - SEE CS-2 FOR CONTINUATION



SCANNELL PROPERTIES		MILL CREEK CORPORATE CENTER - GENSCO IMPROVEMENTS		SITE & DIMENSIONING PLAN	
DRAWING CS-3		JOB NUMBER 3272.1000		DATE: 02/2023	
WESTTECH ENGINEERING, INC. CONSULTING ENGINEERS AND PLANNERS		3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302 Phone: (503) 585-2474 Fax: (503) 585-3966 E-mail: westtech@westtech-eng.com		REVISIONS	
				DSN. SW DRN. RS CKD. SW DATE: 02/2023	
VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON SCALES ACCURACELY		1"		NO. 1 DATE: 02/2023	