



NOTICE of FILING

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.

CASE NUMBER:	Class 3 Site Plan Review/ Class 2 Adjustment/ Class 2 Driveway Approach Permit Case No. SPR-ADJ-DAP23-24
PROPERTY LOCATION:	835 to 887 Commercial Street SE and 840 to 890 Saginaw Street S, Salem OR 97302
NOTICE MAILING DATE:	July 3, 2023
PROPOSAL SUMMARY:	Proposed new 31,814 square-foot, three-story, medical/office building with associated site improvements and off-street parking.
COMMENT PERIOD:	All written comments must be submitted to City Staff no later than <u>5:00 p.m., MONDAY, JULY 17, 2023</u>. Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.
CASE MANAGER:	Bryce Bishop, Planner III , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2399; E-mail: bbishop@cityofsalem.net
NEIGHBORHOOD ASSOCIATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> South Central Association of Neighbors (SCAN), Roz Shirack, Land Use Chair; Email: rozshirack7@gmail.com .
ACCESS:	Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA TO BE CONSIDERED:	Salem Revised Code (SRC) Chapter(s) 220.005(f)(3) – Class 3 Site Plan Review; 250.005(d)(2) – Class 2 Adjustment; 804.025(d) – Class 2 Driveway Approach Permit Salem Revised Code (SRC) is available to view at this link: http://bit.ly/salemorcode . Type in the chapter number(s) listed above to view the applicable criteria.
PROPERTY OWNER(S):	T & L Salem LLC (Travis Hunsaker, Laurie Hunsaker)
APPLICANT(S):	T & L Salem LLC

PROPOSAL REQUEST:

A consolidated application for a proposed new 31,814 square-foot, three-story, medical/office building with associated site improvements and off-street parking.

The application includes:

- 1) A Class 3 Site Plan Review for the proposed development;
- 2) A Class 2 Adjustment to:
 - a) Increase the maximum setback for the proposed building abutting Kearney Street S from 0 ft. to 10 ft. (SRC 533.015(c));
 - b) Allow less than 75 percent of the street frontage of the lot abutting Commercial Street SE to be occupied by building placed at the setback line (SRC 533.015(d));
 - c) Reduce the minimum required ground floor height of the proposed building from 14 ft. to 9 ft. (SRC 533.015(h));
 - d) Allow the proposed building to include less than a minimum of 65 percent transparent windows on the ground floor facades facing Commercial Street SE and Kearney Street S (SRC 533.015(h));
 - e) Allow less than 75 percent of the ground floor facades of the proposed building adjacent to Commercial Street SE and Kearney Street S to include weather protection in the form of awnings or canopies (SRC 533.015(h));
 - f) Allow the proposed development, which is located on a corner lot abutting a local street, to take access to Commercial Street SE (the street with the higher street classification) rather than solely to Kearney Street S (the street with the lower street classification) (SRC 804.035(c)(2)); and
 - g) Allow the proposed driveway approach onto Commercial Street SE to be located less than the minimum required 370-foot spacing from the intersection of Kearney Street S and nearest driveway to the north of the subject property on Commercial Street SE (SRC 804.035(d)); and
- 3) A Class 2 Driveway Approach Permit for the proposed driveway approaches serving the development onto Commercial Street SE and Kearney Street S.

The subject property totals approximately 1.42 acres in size, is zoned MU-I (Mixed-Use-I) and partially within the Saginaw Street Overlay Zone, and located at 835 to 887 Commercial Street SE and 840 to 890 Saginaw Street S (Marion County Assessor Map and Tax Lot Numbers: 073W27CA08900, 073W27CA09000, 073W27CA11200, 073W27CA11300, 073W27CA11400, and 073W27CA11500).

APPLICATION PROCESS:

Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.

Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.

MORE INFORMATION:

All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at <https://permits.cityofsalem.net>. You can use the search function without registering and enter the permit number listed here: 22-117603. Paper copies can be obtained for a reasonable cost.

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE
For more information about Planning in Salem: <http://www.cityofsalem.net/planning>

It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development

Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7

REQUEST FOR COMMENTS

Si necesita ayuda para comprender esta información, por favor llame 503-588-6173

REGARDING: Class 3 Site Plan Review/ Class 2 Adjustment/ Class 2 Driveway Approach Permit Case No. SPR-ADJ-DAP23-24

PROJECT ADDRESS: 835 to 887 Commercial Street SE and 840 to 890 Saginaw Street S

AMANDA Application No.: 22-117603-PLN

COMMENT PERIOD ENDS: Monday, July 17, 2023 at 5:00 PM

SUMMARY: Proposed new 31,814 square-foot, three-story, medical/office building with associated site improvements and off-street parking.

REQUEST: A consolidated application for a proposed new 31,814 square-foot, three-story, medical/office building with associated site improvements and off-street parking. The application includes:

- 1) A Class 3 Site Plan Review for the proposed development;
- 2) A Class 2 Adjustment to:
 - a) Increase the maximum setback for the proposed building abutting Kearney Street S from 0 ft. to 10 ft. (SRC 533.015(c));
 - b) Allow less than 75 percent of the street frontage of the lot abutting Commercial Street SE to be occupied by building placed at the setback line (SRC 533.015(d));
 - c) Reduce the minimum required ground floor height of the proposed building from 14 ft. to 9 ft. (SRC 533.015(h));
 - d) Allow the proposed building to include less than a minimum of 65 percent transparent windows on the ground floor facades facing Commercial Street SE and Kearney Street S (SRC 533.015(h));
 - e) Allow less than 75 percent of the ground floor facades of the proposed building adjacent to Commercial Street SE and Kearney Street S to include weather protection in the form of awnings or canopies (SRC 533.015(h));
 - f) Allow the proposed development, which is located on a corner lot abutting a local street, to take access to Commercial Street SE (the street with the higher street classification) rather than solely to Kearney Street S (the street with the lower street classification) (SRC 804.035(c)(2)); and
 - g) Allow the proposed driveway approach onto Commercial Street SE to be located less than the minimum required 370-foot spacing from the intersection of Kearney Street S and nearest driveway to the north of the subject property on Commercial Street SE (SRC 804.035(d)); and
- 3) A Class 2 Driveway Approach Permit for the proposed driveway approaches serving the development onto Commercial Street SE and Kearney Street S.

The subject property totals approximately 1.42 acres in size, is zoned MU-I (Mixed-Use-I) and partially within the Saginaw Street Overlay Zone, and located at 835 to 887 Commercial Street SE and 840 to 890 Saginaw Street S (Marion County Assessor Map and Tax Lot Numbers: 073W27CA08900, 073W27CA09000, 073W27CA11200, 073W27CA11300, 073W27CA11400, and 073W27CA11500).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

Comments received by 5:00 p.m., MONDAY, JULY 17, 2023, will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.*

CASE MANAGER: Bryce Bishop, Planner III, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2399; E-Mail: bbishop@cityofsalem.net.

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

PLEASE CHECK THE FOLLOWING THAT APPLY:

- 1. I have reviewed the proposal and have no objections to it.
- 2. I have reviewed the proposal and have the following comments: _____

Name/Agency: _____

Address: _____

Phone: _____

Email: _____

Date: _____

IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM

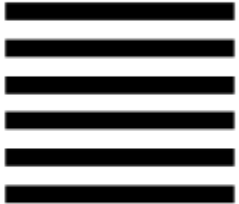


NO POSTAGE
NECESSARY
IF MAILED
IN THE
UNITED STATES

BUSINESS REPLY MAIL
FIRST-CLASS MAIL PERMIT NO. 1508 SALEM, OR

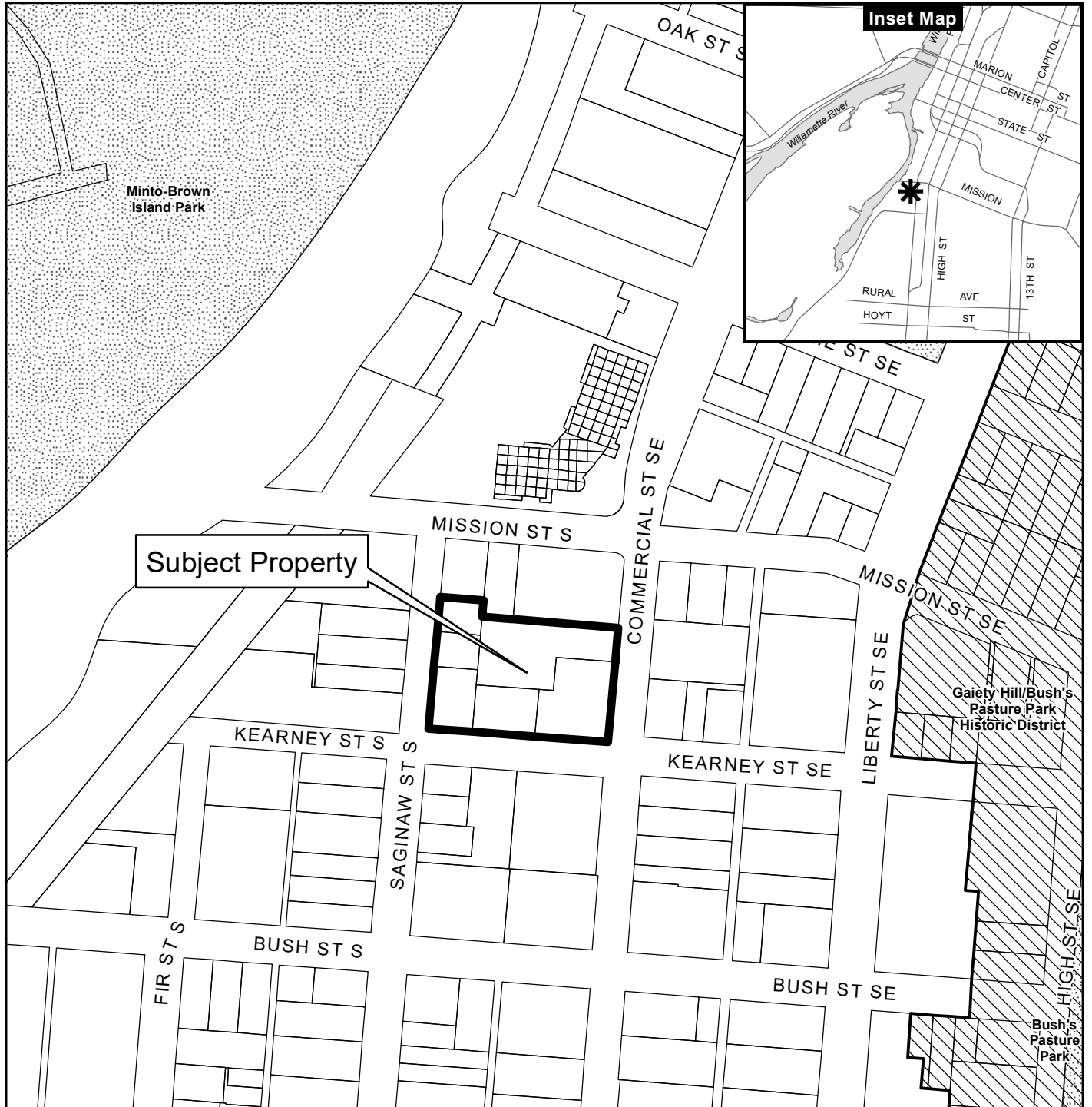
POSTAGE WILL BE PAID BY ADDRESSEE

PLANNING DIVISION
CITY OF SALEM RM 305
555 LIBERTY ST SE
SALEM OR 97301-9907



Vicinity Map

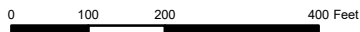
835 to 887 Commercial Street SE & 840 to 890 Saginaw Street S



Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools
- Parks

CITY OF Salem
 AT YOUR SERVICE
 Community Development Dept.



This product is provided as is, without warranty. In no event is the City of Salem liable for damages from the use of this product. This product is subject to license and copyright limitations and further distribution or resale is prohibited.

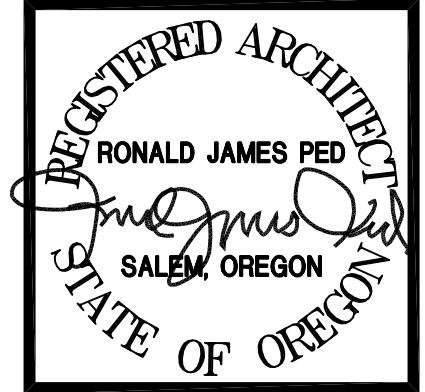
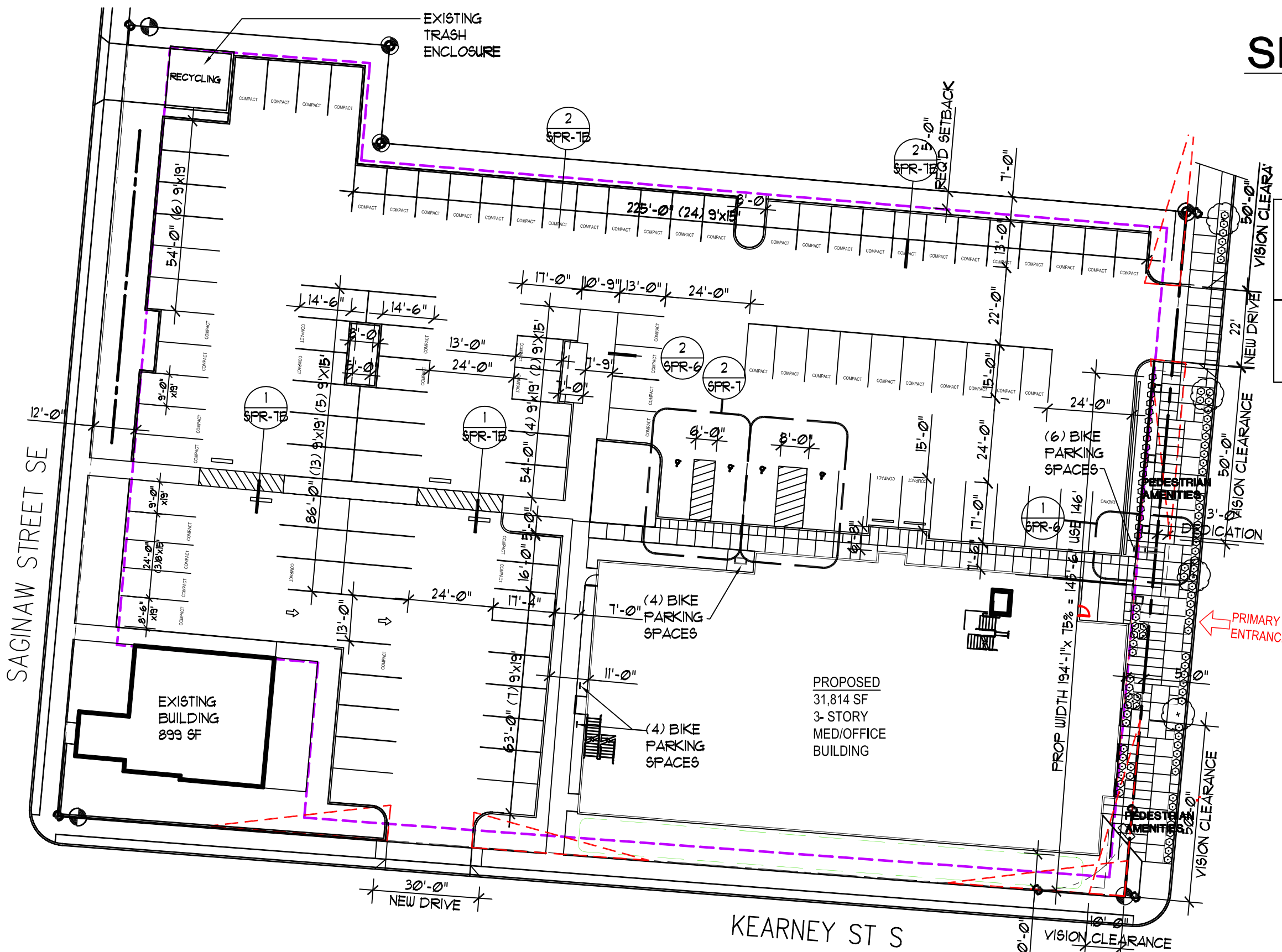
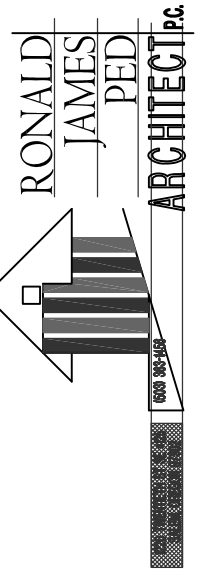
SITE SUMMARY

LAND AREA	59,880# (1.37AC)
15% LANDSCAPE	8,982#
15.3 % ACTUAL	9,214#
NEW BLDG FOOTPRINT	11,092#
EXISTING HOUSE	899#
PAVING	38,675#

PARKING	
COMPACT	62
FULL SIZE	43
ACCESSIBLE	+ 4
TOTAL	109

BIKE PARKING	
22,184 SF	
OUTPATIENT MED SERVICES	= 14

TABLE 806.0



DRAWING INDEX

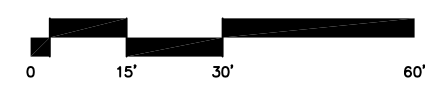
- SPR1 60-PROPOSED SITE PLAN
- SPR2 61-EXISTING CONDITIONS PLAN
- SPR3 62-UTILITY PLAN
- SPR4 63-GRADING PLAN
- SPR5 64-LANDSCAPE PLAN
- SPR6 65-DETAILS
- SPR7 66-DETAILS
- SPR7B 67-DETAILS
- SPR8 68-PEDESTRAIN ACCESS PLAN
- SPR9 69-NEW PERVIOUS AREA PLAN
- SPR10 70-EXTERIOR ELEVATIONS

SITE PLAN REVIEW
HUNSAKER DENTAL CLINIC
835-877 COMMERCIAL ST SE

PROPOSED SITE PLAN

A
SPR-1

SCALE : 1" = 30'



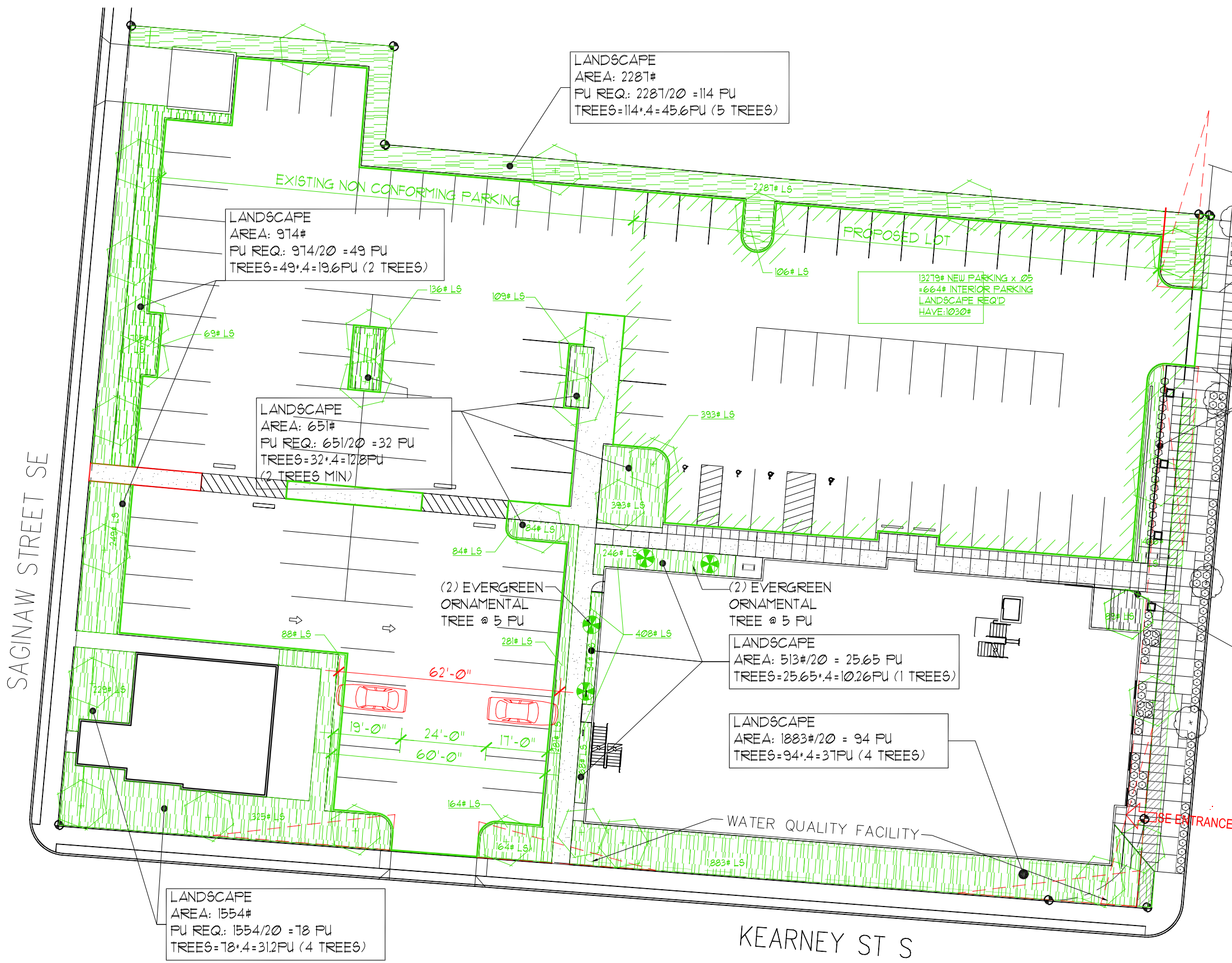
DATE: 8-12-2020
 DRAWN: AK
 JOB NO.: 2259

SPR-1

SITE SUMMARY

LAND AREA	60,944# (1.40 AC)
14.5 % ACTUAL	8,690#
NEW BLDG FOOTPRINT	11,092#
EXISTING HOUSE	899#
PAVING	33,815#
REVISED PAVING	32,918#
5% INTERIOR LANDSCAPE REQUIRED	1,646#
INTERIOR LANDSCAPE PROVIDED	1,847#

RONALD JAMES PED ARCHITECT P.C.



LANDSCAPE
AREA: 914#
PU REQ.: 914/20 = 49 PU
TREES=49*.4=19.6PU (2 TREES)

LANDSCAPE
AREA: 2287#
PU REQ.: 2287/20 = 114 PU
TREES=114*.4=45.6PU (5 TREES)

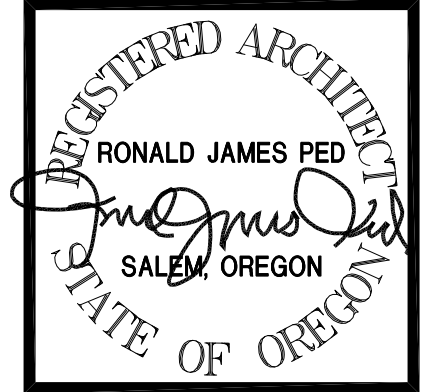
LANDSCAPE
AREA: 651#
PU REQ.: 651/20 = 32 PU
TREES=32*.4=12.8PU (2 TREES MIN)

LANDSCAPE
AREA: 223#
PU REQ.: 223/20 = 11 PU
TREES=11*.4=4.4 PU (1 TREES)

LANDSCAPE
AREA: 513#/20 = 25.65 PU
TREES=25.65*.4=10.26PU (1 TREES)

LANDSCAPE
AREA: 1883#/20 = 94 PU
TREES=94*.4=37.6PU (4 TREES)

LANDSCAPE
AREA: 1554#
PU REQ.: 1554/20 = 78 PU
TREES=78*.4=31.2PU (4 TREES)

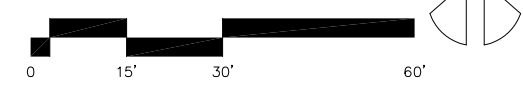


SITE PLAN REVIEW
HUNSAKER DENTAL CLINIC
835-877 COMMERCIAL ST SE

PROPOSED LANDSCAPE PLAN



SCALE: 1" = 30'

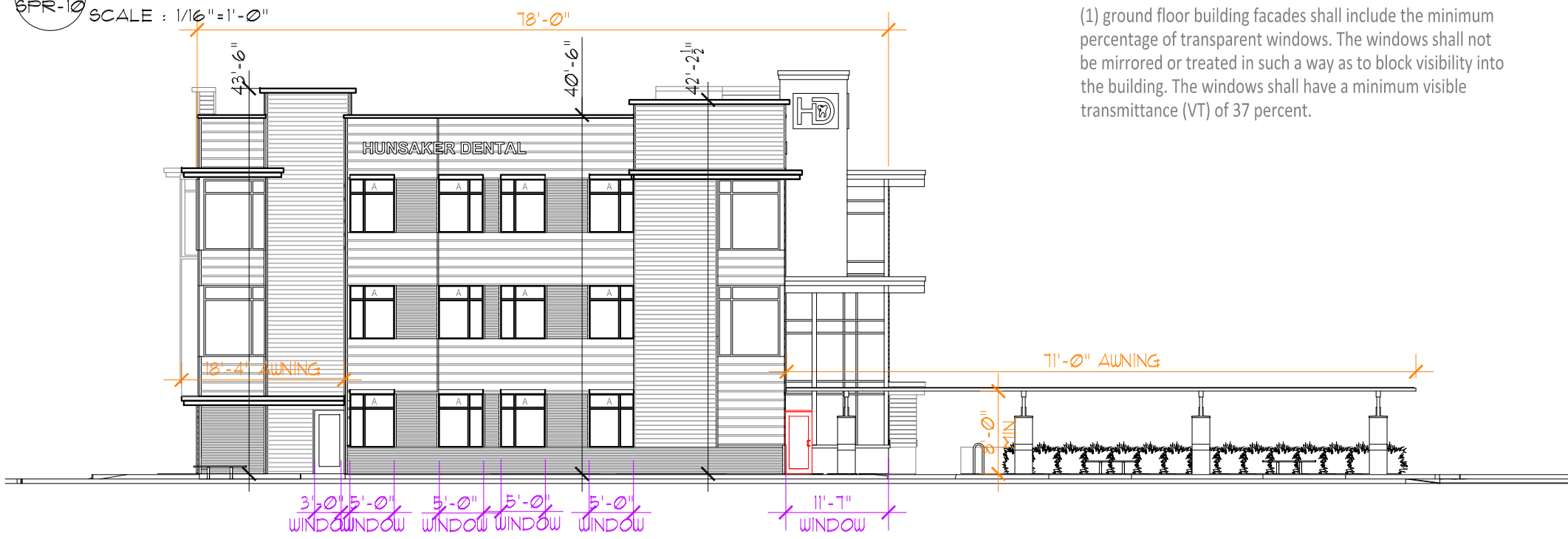


DATE: 8-12-2020
DRAWN: AK
JOB NO.: 2259

SPR-5



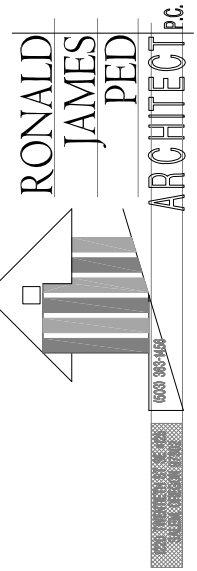
A NORTH ELEVATION
 SPR-10 SCALE : 1/16" = 1'-0"



(1) ground floor building facades shall include the minimum percentage of transparent windows. The windows shall not be mirrored or treated in such a way as to block visibility into the building. The windows shall have a minimum visible transmittance (VT) of 37 percent.

78' x .65 = 50.7' REQUIRED WINDOW WIDTH 34'-7" WINDOW PROVIDED
 78' BUILDING WIDTH x .75 = 58.5' REQUIRED AWNING WIDTH 89'-4" AWNING WIDTH PROVIDED

B EAST ELEVATION
 SPR-10 SCALE : 1/16" = 1'-0"



SITE PLAN REVIEW
 HUNSAKER DENTAL CLINIC
 835-877 COMMERCIAL ST SE

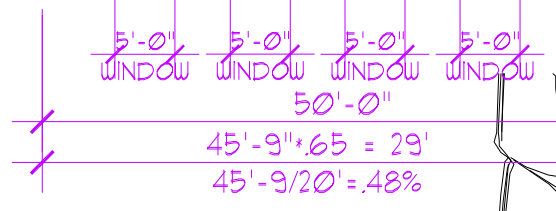
DATE: 8-12-2020
 DRAWN: AK
 JOB NO.: 2259

SPR-10

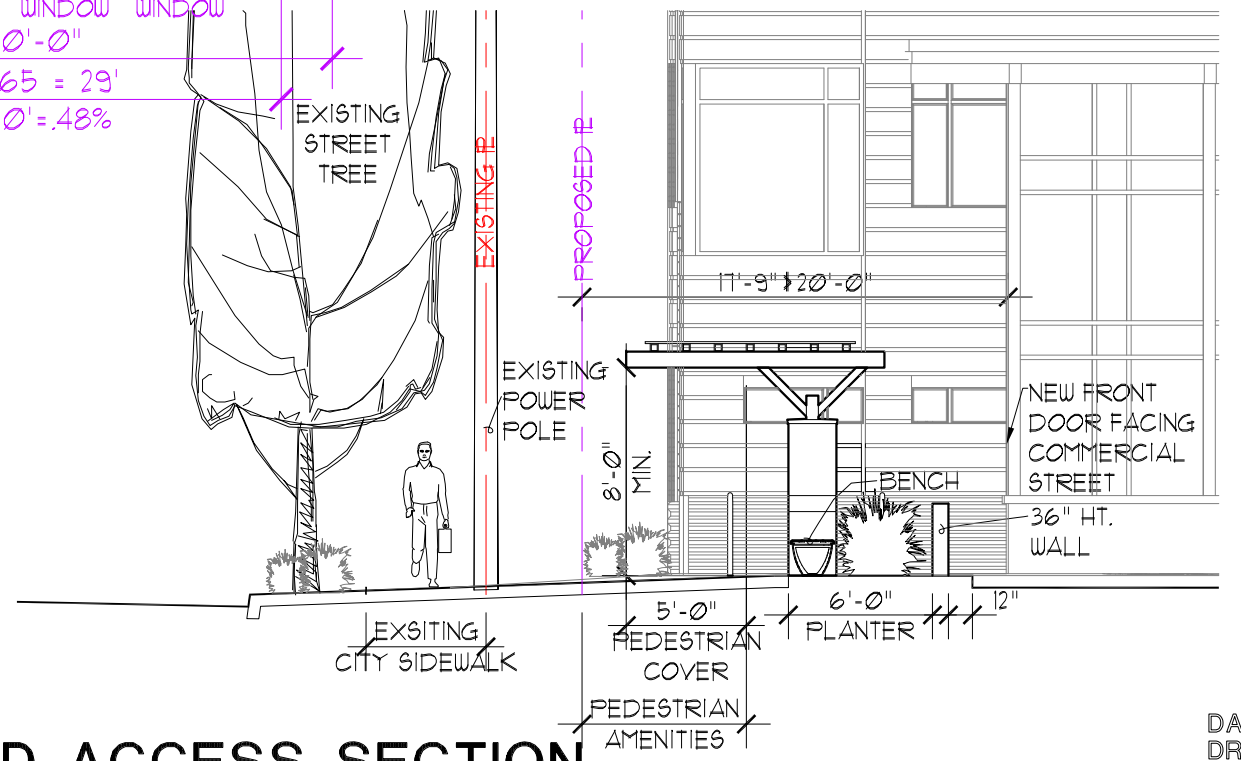


(1) ground floor building facades shall include the minimum percentage of transparent windows. The windows shall not be mirrored or treated in such a way as to block visibility into the building. The windows shall have a minimum visible transmittance (VT) of 37 percent.

A SOUTH ELEVATION
SCALE : 1/16" = 1'-0"

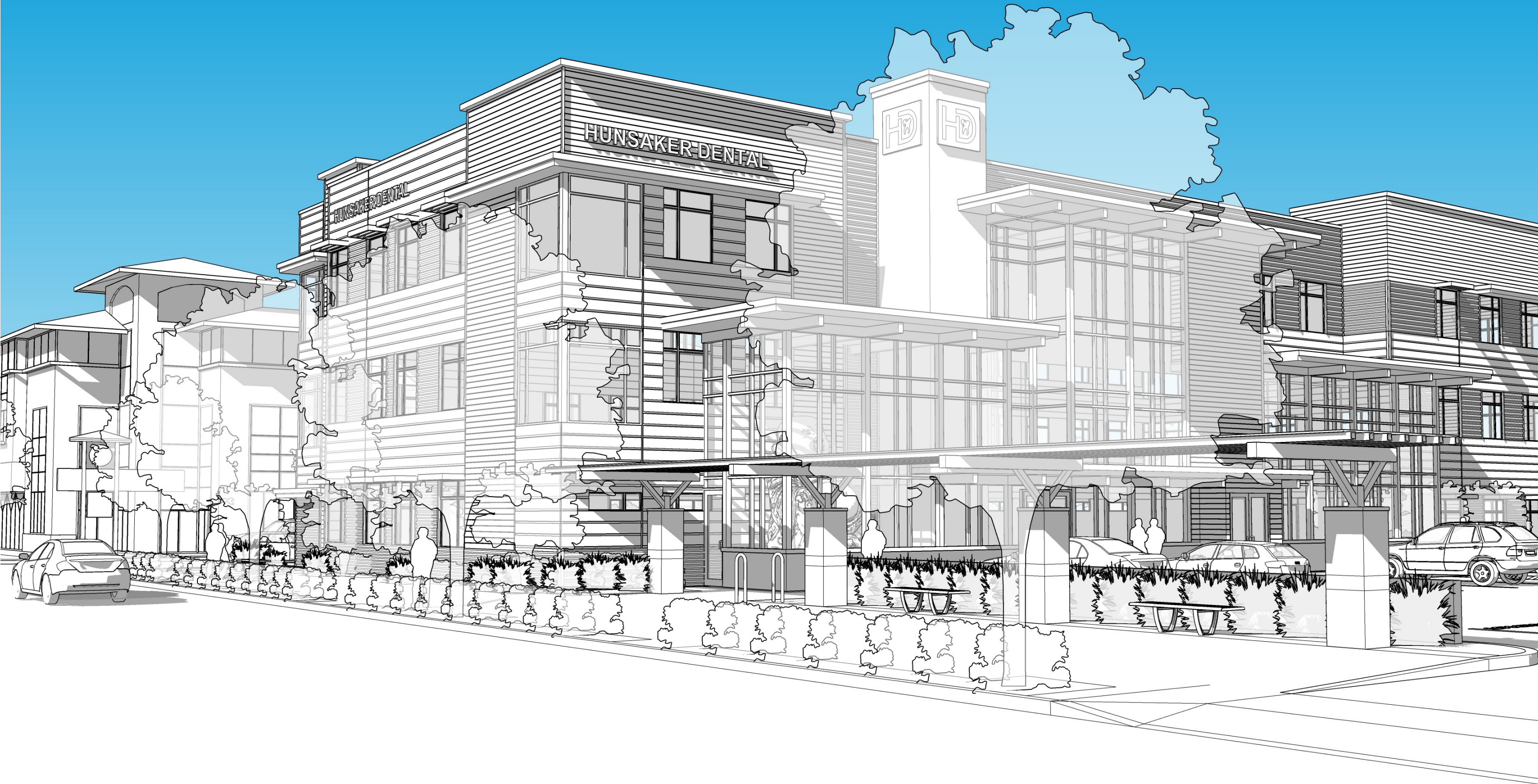


B WEST ELEVATION
SCALE : 1/16" = 1'-0"



C PED ACCESS SECTION
SCALE : 1/8" = 1'-0"







COMPLAINT / COMPLAINT



