



HEARING NOTICE

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213

CASE NUMBER:	Sign Variance / Sign Permit Case No. VAR-SI23-01
PROPERTY LOCATION:	3025-3033 Lancaster Dr NE, Salem OR 97305
SUMMARY:	A request for a Sign Variance and Sign Permit to increase the amount of wall signs allowed, for an additional three wall signs where two signs are allowed.
HEARING INFORMATION:	<u>Hearings Officer, July 26, 2023 at 5:30 PM Council Chambers, Room 240, Civic Center, 555 Liberty Street SE, Salem, OR 97301</u> To view the meeting LIVE on YouTube please visit this link with any computer, tablet, or smart phone: http://bit.ly/planningpublicmeetings
HOW TO PROVIDE TESTIMONY:	Any person wishing to speak either for or against the proposed request may do so in person or by representative at the Public Hearing. Prior to the Public Hearing, written comments should be directed to the case manager listed below. Staff recommends emailing to ensure receipt before the public hearing. Only those participating by submitting written testimony, or by testifying at the hearing, have the right to appeal the decision. <u>Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number.</u>
CASE MANAGER:	Olivia Dias, Current Planning Manager , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, OR 97301. Telephone: 503-540-2343; E-mail: odias@cityofsalem.net .
NEIGHBORHOOD ASSOCIATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> North Lancaster Neighborhood Association (NOLA), Dennis Will, Land Use Chair; Phone 503-931-2105; Email: elephant2@comcast.net .
STAFF REPORT:	The Staff Report will be available seven (7) days prior to the hearing and will thereafter be posted on the Hearing Body's website under Agendas and Minutes: https://www.cityofsalem.net/government/boards-commissions/hearings-officer
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA:	Salem Revised Code (SRC) Chapter(s) 900.040(d) – Sign Variance Salem Revised Code (SRC) is available to view at this link: www.cityofsalem.net/src . Type in the chapter number(s) listed above to view the applicable criteria.

OWNER(S):	Walmart Real Estate Business Trust
APPLICANT / AGENT(S):	Jennifer Paquin
PROPOSAL / REQUEST:	A request for a variance to increase the amount of wall signs, as allowed by SRC 900.290(c), to install three additional wall signs. The allowed square footage of signage is 282 sq ft. The square footage being applied for is 264 sq ft. The subject property is approximately 16.63 acres in size, zoned MU-I (Mixed-Use I), and located at 3025-3033 Lancaster Drive NE - 97301; (Marion County Assessor Map and Tax Lot Numbers 072W18BC / 0204, 3300, 3303).
HEARING PROCEDURE:	<p>The hearing will be conducted with the staff presentation first, followed by the applicant's case, neighborhood organization comments, testimony of persons in favor or opposition, and rebuttal by the applicant, if necessary. The applicant has the burden of proof to show that the approval criteria can be satisfied by the facts. Opponents may rebut the applicant's testimony by showing alternative facts or by showing that the evidence submitted does not satisfy the approval criteria. A hearing is not a venue to ask questions of staff, the applicant, or the decision maker(s) on this case but rather an opportunity to provide testimony to the decision maker(s) on the merits of the land use case; questions about the application, the recommended conditions of approval, or the Planning Administrator's recommendation, should be directed to the Case Manager prior to the hearing.</p> <p>Any participant may request an opportunity to present additional evidence or testimony regarding the application. A ruling will then be made to either continue the Public Hearing to another date or leave the record open to receive additional written testimony. Failure to raise an issue in person or by letter prior to the close of the Public Hearing with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p> <p>Following the close of the Public Hearing a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who participated in the hearing, either in person or in writing, and anyone who requested to receive notice of the decision.</p>
MORE INFORMATION:	All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at https://permits.cityofsalem.net . You can use the search function without registering and enter the permit number listed here: 23 110213. Paper copies can be obtained for a reasonable cost.
NOTICE MAILING DATE:	July 5, 2023

**PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE.
For more information about Planning in Salem:**

<http://www.cityofsalem.net/planning>

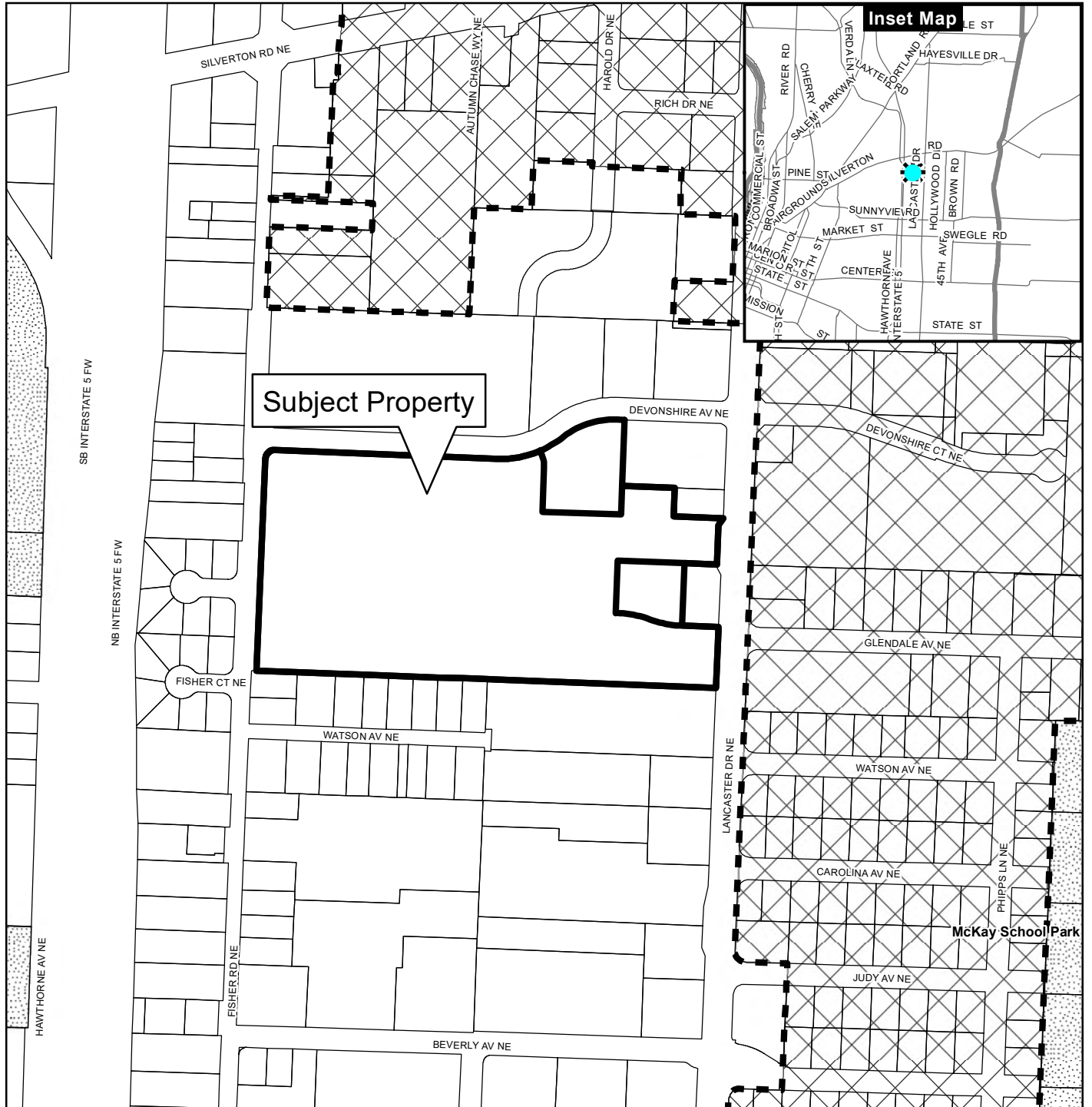
It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community

Development Department at 503-588-6173 at least three business days before this meeting or event.







TTD/TTY telephone 503-588-6439 is also available 24/7

Vicinity Map

3025 Lancaster Drive NE



Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools

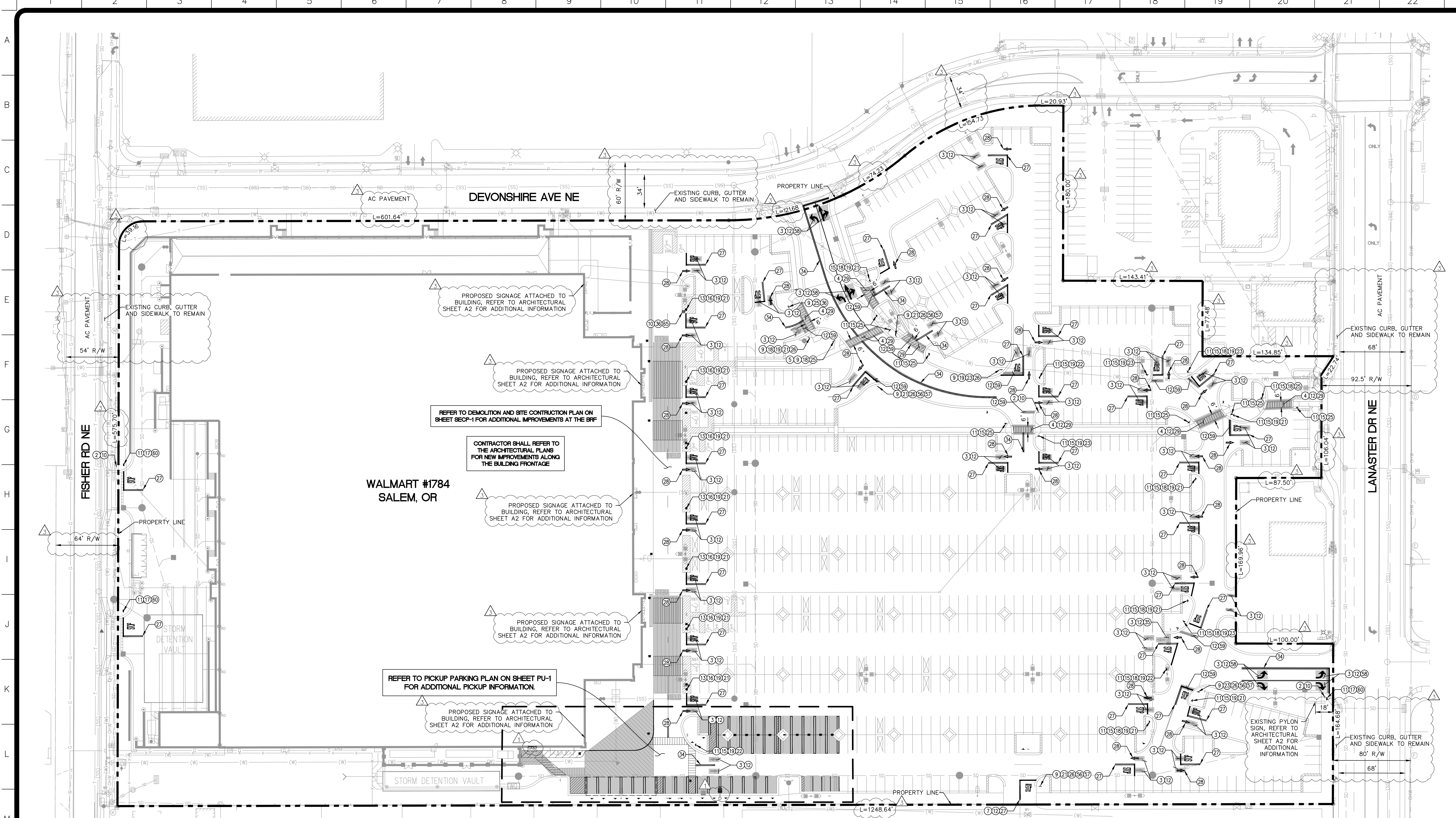
 Parks

CITY OF Salem
AT YOUR SERVICE
 Community Development Dept.

0 100 200 400 Feet



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OVERALL SITE PLAN
SCALE: 1" = 40'

SITE CONSTRUCTION NOTES

1. EXISTING STOP SIGN TO BE REMOVED.
2. EXISTING CROSSWALK STRIPING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
3. EXISTING CENTER LINE STRIPING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
4. EXISTING SIGN POST AND BASE TO REMAIN AND BE PROTECTED IN PLACE.
5. EXISTING SIGN POST AND BASE TO BE REMOVED. IF SIGN POST IS LOCATED IN AC PAVEMENT, CONTRACTOR SHALL REMOVE AND REPLACE AC PAVEMENT AND BASE AS NECESSARY TO ALLOW FOR THE REMOVAL OF THE CONCRETE BASE FOR THE EXISTING SIGN POST. NEW AC PAVEMENT AND BASE TO MATCH EXISTING CONDITIONS. IF SIGN POST IS LOCATED IN CONCRETE SIDEWALK, CONTRACTOR TO REMOVE AND REPLACE CONCRETE SIDEWALK AS NECESSARY TO ALLOW FOR THE REMOVAL OF THE CONCRETE BASE FOR THE EXISTING SIGN POST. NEW SIDEWALK COLOR, FINISH, AND THICKNESS TO MATCH EXISTING CONDITIONS.
6. EXISTING LANDSCAPING AND IRRIGATION TO BE PROTECTED IN PLACE. IF LANDSCAPE AND/OR IRRIGATION IS DISTURBED DURING PROPOSED IMPROVEMENTS, CONTRACTOR SHALL INSTALL NEW LANDSCAPING AND/OR IRRIGATION TO MATCH EXISTING CONDITIONS.
7. LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT. REFER TO SPECIFICATIONS SHEET CSS-1 AND CSS-2 FOR ADDITIONAL SEAL COAT INFORMATION.
8. REMOVE AC PAVEMENT AND BASE AS NECESSARY TO ALLOW FOR THE INSTALLATION OF THE CONCRETE BASE FOR THE PROPOSED SIGN POST.
9. INSTALL SIGN MOUNTING AND BASE WITHOUT BOLLARD PER DETAILS ON SECP/SSM DETAILS SHEET.
10. INSTALL SIGN MOUNTING AND BASE WITH BOLLARD PER DETAILS ON SECP/SSM DETAILS SHEET.
11. INSTALL DOUBLE STOP WITH BREAK AWAY POSTS SIGN MOUNTING AND BASE WITHOUT BOLLARD PER DETAILS ON SECP/SSM DETAILS SHEET.
12. REMOVE AND/OR TRIM EXISTING LANDSCAPING LIMITED TO THE AREA OF NEW SIGN POST. NO TREES SHALL BE REMOVED. EXISTING IRRIGATION TO BE PROTECTED IN PLACE. IF DISTURBED DURING PROPOSED IMPROVEMENTS, CONTRACTOR SHALL INSTALL NEW IRRIGATION TO MATCH EXISTING CONDITIONS.

13. INSTALL 30"x30" STOP SIGN PER DETAILS ON SECP/SSM DETAILS SHEET.
14. INSTALL "CROSS TRAFFIC" PLAQUE PER DETAILS ON SECP/SSM DETAILS SHEET.
15. INSTALL "ONCOMING TRAFFIC" PLAQUE PER DETAILS SECP/SSM DETAILS SHEET.
16. INSTALL "LEFT/RIGHT TRAFFIC" PLAQUE PER DETAILS ON SECP/SSM DETAILS SHEET.
17. INSTALL NEW "STOP FOR PEDESTRIANS" SIGN PER DETAILS ON SECP/SSM DETAILS SHEET.
18. IF PROPOSED SIGN(S) CANNOT BE INSTALLED AT A HEIGHT OF 7' FROM BOTTOM OF SIGN TO FINISHED SURFACE, CONTRACTOR SHALL EXTEND THE EXISTING POST PER DETAIL ON SECP/SSM DETAILS SHEET.
19. PAINT STOP PAVEMENT MARKING WITH STOP BAR PER DETAILS ON SECP/SSM DETAILS SHEET. DOUBLE YELLOW CENTERLINES ONLY FOR TWO-WAY DRIVE AISLES AS ILLUSTRATED ON SECP/SSM DETAILS SHEET.
20. PAINT OPEN ARROW PAVEMENT MARKING PER DETAILS ON SECP/SSM DETAILS SHEET.
21. PAINT CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1) - 8" WHITE STRIPING PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS AND DETAIL ON SECP/SSM DETAILS SHEET FOR ADDITIONAL INFORMATION.
22. PAINT STOP PAVEMENT MARKING PER DETAILS ON SECP/SSM DETAILS SHEET. DOUBLE YELLOW CENTERLINES ONLY FOR TWO-WAY DRIVE AISLES AS ILLUSTRATED ON SECP/SSM DETAILS SHEET.
23. EXISTING PICKUP PAVEMENT MARKING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
24. REMOVE EXISTING "PICKUP" SIGNAGE.
25. EXISTING STOP SIGN TO BE REMOVED AND SALVAGED.
26. REINSTALL SALVAGED STOP SIGN.
27. PAINT SOLID ARROW PAVEMENT MARKING PER DETAILS ON SECP/SSM DETAILS SHEET.
28. EXISTING STOP PAVEMENT MARKING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
29. INSTALL 36"x36" STOP SIGN PER DETAILS ON SECP/SSM DETAILS SHEET.
30. EXISTING BOLLARD TO BE REMOVED. CONTRACTOR SHALL REMOVE AND REPLACE AC PAVEMENT AND BASE AS NECESSARY TO ALLOW FOR THE REMOVAL OF THE CONCRETE BASE FOR THE EXISTING BOLLARD. NEW AC PAVEMENT AND BASE TO MATCH EXISTING CONDITIONS.

RIGHT OF WAY/LOT LINE NOTE

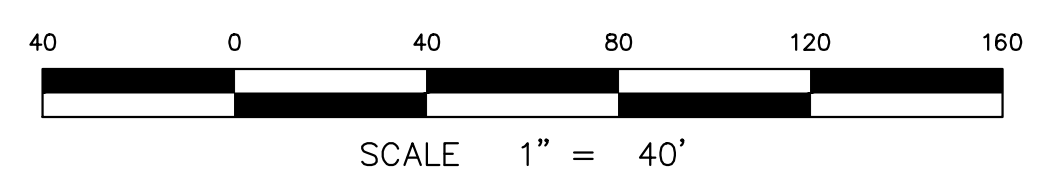
RIGHT OF WAY/LOT LINE INFORMATION IS BASED ON REFERENCE PLANS PROVIDED FOR THIS PROJECT. NO BOUNDARY SURVEY OR FIELD TOPOGRAPHIC SURVEY WAS PERFORMED FOR THIS PROJECT.

SETBACKS

PER SALEM REVISED CODE (MU-1 - MIXED USE-1)
BUILDING SETBACKS:
FRONT = 0 FT
REAR = 0 FT
SIDE = 0 FT
VEHICLE USE AREAS = 5 FT

NOTES TO CONTRACTOR

1. DAMAGED CURBS, PAVEMENT, STRIPING, LANDSCAPING AND IRRIGATION, OR ANY OTHER EXISTING IMPROVEMENTS DISTURBED AS PART OF THESE IMPROVEMENTS SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
2. ALL DIAGONAL CROSSWALK STRIPING SHALL BE REMOVED.
3. PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES, AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
4. CONTRACTOR SHALL CLEAR AND GRUB EXISTING VEGETATION IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AS SHOWN ON THE PLAN. CONTRACTOR TO PROTECT IN PLACE AND CONFIRM THAT THE EXISTING IRRIGATION IS WORKING PROPERLY AFTER IMPROVEMENTS ARE COMPLETED.
5. THE MINIMUM HEIGHT OF THE BOTTOM OF THE LOWEST SIGN SHALL BE 7'-0".
6. ALL SIGNAGE TO REMAIN AND BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED ON THESE PLANS.
7. REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
8. ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED WHERE SHOWN TO BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
9. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.



STOP SIGNS AND MARKINGS PLAN

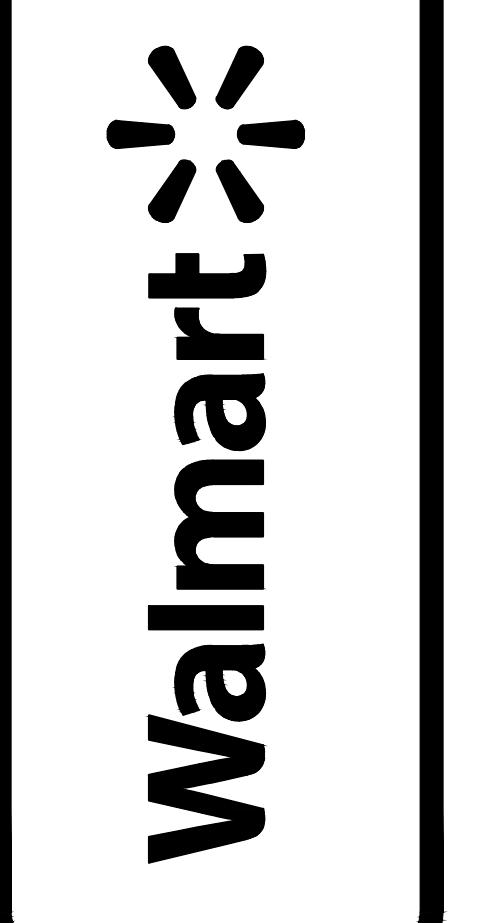
PLAN DATE IDENTIFIER
DATE OF LAST CHANGE TO THIS PLAN
04/25/2023 BY: JR
DATE OF THIS PRINT
05/01/2023

ISSUE BLOCK	
ADD#1	02/09/23
CCD#2	05/01/23

Nasland
970 Main Street, Ste. 314
Boise, ID 83702
T (208) 918-4859
nasland.com
Civil Engineering Consulting Land Planning



WALMART SUPERCENTER #1784-258
3025 LANCASTER DR NE, SALEM, OR 97305
WAL-MART STORES, INC.
2001 SE 10TH STREET
BENTONVILLE, AR 72716



DRAWN	
CHECKED	
MIN	
DATE	
AS SHOWN ON PLAN	
SCALE	
VARIABLES	
JOB No.	
322-105.1	
SHEET	

SSM-1



OUTDOOR
PICKUP
SITE ID



SITE ID
REF 11-A2.1

FOR REFERENCE ONLY:
"SEPERATE PERMIT IS REQUIRED"

DEMOLITION NOTES

1. NOT USED.
2. REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS.

COLOR LEGEND

P#	COLOR NAME
P5E	SAFETY YELLOW OSHA STANDARD
P33E	CREAM
P36E	BLACK
P49E	DARK GRAY
P76U	WALMART BLUE (URETHANE-LIKE)
P134E	LIGHT GRAY
P135E	MEDIUM GRAY
P162E	BLACK GRAY

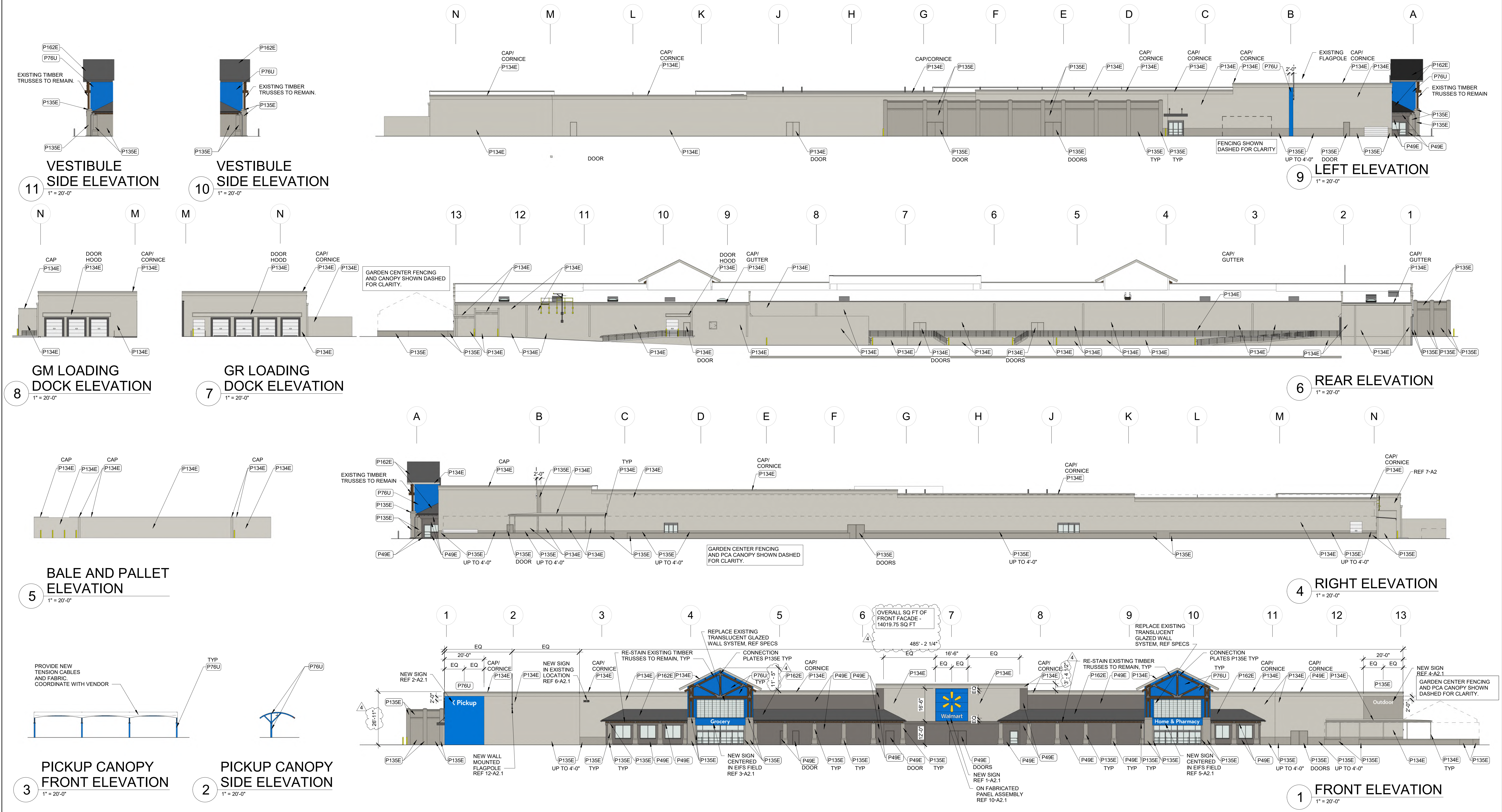
- SHEET NOTES**
1. PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS. TO MATCH ADJACENT AS REQUIRED.
 2. REFER TO DETAILS ON SHEET A2.1 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS.
 3. RESURFACE EXISTING EIFS WHERE SHOWN (HATCHED AREA).
 4. NOT USED.
 5. PRIOR TO PAINTING WALL AT LOCATION(S) OF LIT ID/LOGO SIGN(S), COORDINATE SCOPE OF WORK WITH WALMART CM.
 6. IF PAINTING ADJACENT WALLS PAINT HOLLOW METAL STEEL DOORS, FRAMES, AND DOWNSPOUTS, EXPOSED METAL FLASHING, HANDRAILS, AND EXPOSED MISCELLANEOUS STEEL TO MATCH PRIMARY ADJACENT BUILDING COLOR UNO.
 7. PAINT ANY ROOFTOP GAS PIPING (P5E) WHERE EXTERIOR WALL IS BEING PAINTED, GAS PIPE ALONG SIDE WALL TO GRADE SHALL MATCH ADJACENT BUILDING. DO NOT PAINT METER OR VALVES.
 8. IF PAINTING ADJACENT WALLS PAINT CANOPY STRUCTURAL STEEL AND FLASHING TO MATCH ADJACENT WALL.
 9. WHERE CANOPIES ARE VISIBLE TO AND ACCESSED BY CUSTOMERS, PAINT UNDERSIDE OF CANOPY DECK (P33E) DO NOT PAINT CANOPY DECK IF NOT PREVIOUSLY PAINTED.
 10. INSTALL GRAY BOLLARD SLEEVES AT ALL ENTRANCE BOLLARDS. PAINT ALL SAFETY BOLLARDS PSE. PAINT ALL OTHER PAINTED/DECORATIVE BOLLARDS P135E.
 11. PAINT SECURITY WALL PACK HOUSINGS TO MATCH ADJACENT WALL. REMOVE PAINT OVERSPRAY FROM LENSES.
 12. DO NOT PAINT LED WALL PACK HOUSINGS
 13. PAINT GARDEN CENTER STEEL DOORS AND FRAMES (P36E) NOT USED.
 14. NOT USED.
 15. DO NOT PAINT QUIK BRK, STONE VENEER, FACE BRICK, UNPAINTED TILT WALL OR PRECAST PANELS
 16. AT MASONRY LOCATIONS WHERE SIGNS ARE BEING REPLACED, REMOVE AND PAINT AREA BEHIND SIGN TO MATCH EXISTING COLOR. REF SPEC 09900.
 17. PAINT JIB CRANE (P38E) ON JIB BOOM (P5E) ON HANDRAILS



STIPULATION FOR REUSE

THIS DRAWING WAS PREPARED FOR THE PROJECT AND SITE AT THE LOCATION AND DATE ON THIS SHEET. IT IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF pb2 ARCHITECTURE + ENGINEERING. ANY REUSE OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF pb2 ARCHITECTURE + ENGINEERING IS PROHIBITED.

SITE PLAN



11 VESTIBULE SIDE ELEVATION
1" = 20'-0"

10 VESTIBULE SIDE ELEVATION
1" = 20'-0"

9 LEFT ELEVATION
1" = 20'-0"

8 GM LOADING DOCK ELEVATION
1" = 20'-0"

7 GR LOADING DOCK ELEVATION
1" = 20'-0"

6 REAR ELEVATION
1" = 20'-0"

5 BALE AND PALLET ELEVATION
1" = 20'-0"

4 RIGHT ELEVATION
1" = 20'-0"

3 PICKUP CANOPY FRONT ELEVATION
1" = 20'-0"

2 PICKUP CANOPY SIDE ELEVATION
1" = 20'-0"

1 FRONT ELEVATION
1" = 20'-0"



ISSUE BLOCK

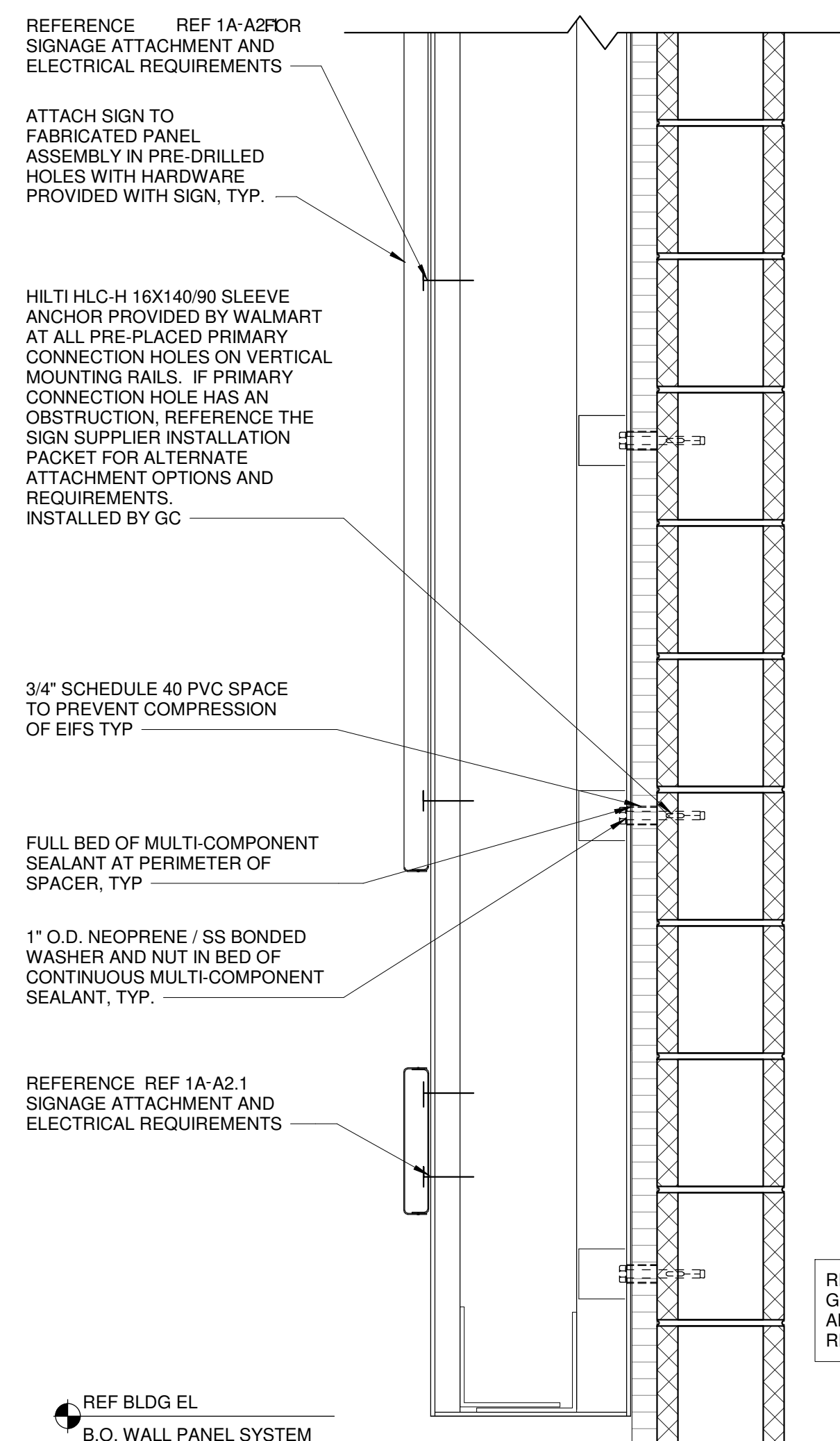
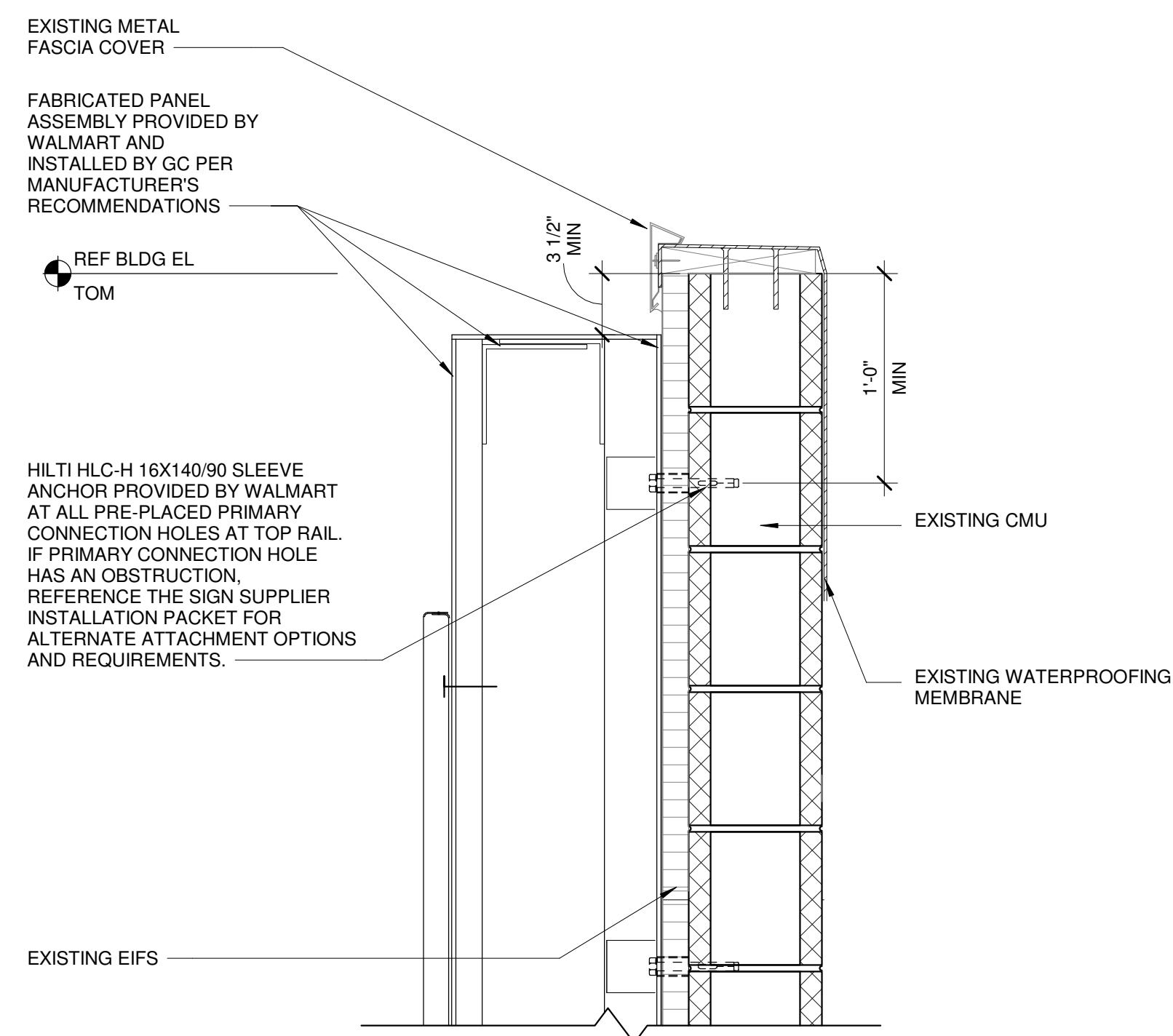
NO.	DATE	DESCRIPTION
1	02.09.2023	ADD 1
4	05.03.2023	CCD 3

CHECKED BY: CWB
DRAWN BY: CLT
PROTO: 192
PROTO CYCLE: 09.30.22
DOCUMENT DATE: 12.13.22

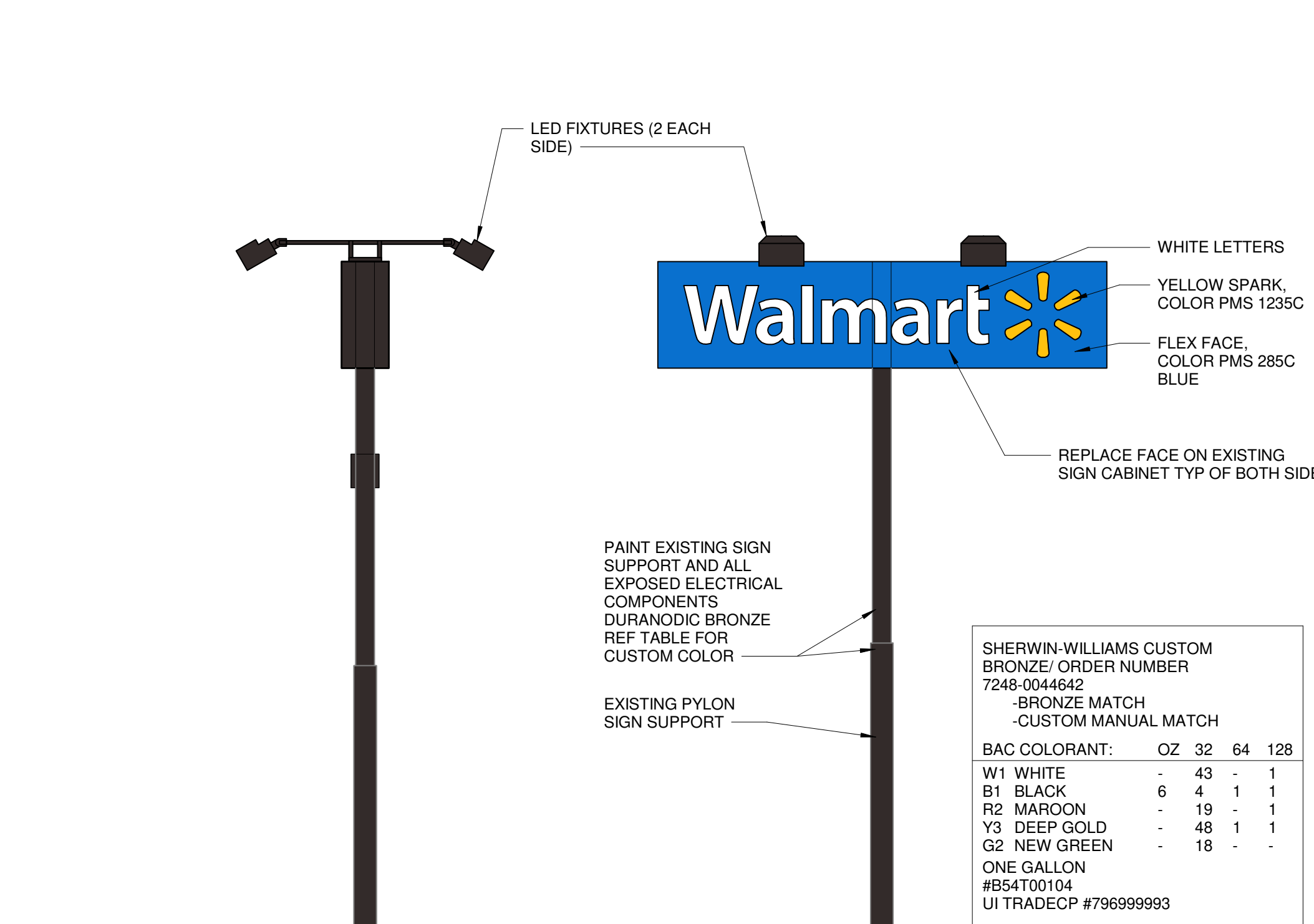
DOCUMENTS THAT DO NOT HAVE THE ARCHITECT OR ENGINEER OF RECORD SEAL AND SIGNATURE SHALL BE CONSIDERED NOT FOR CONSTRUCTION.

EXTERIOR ELEVATIONS

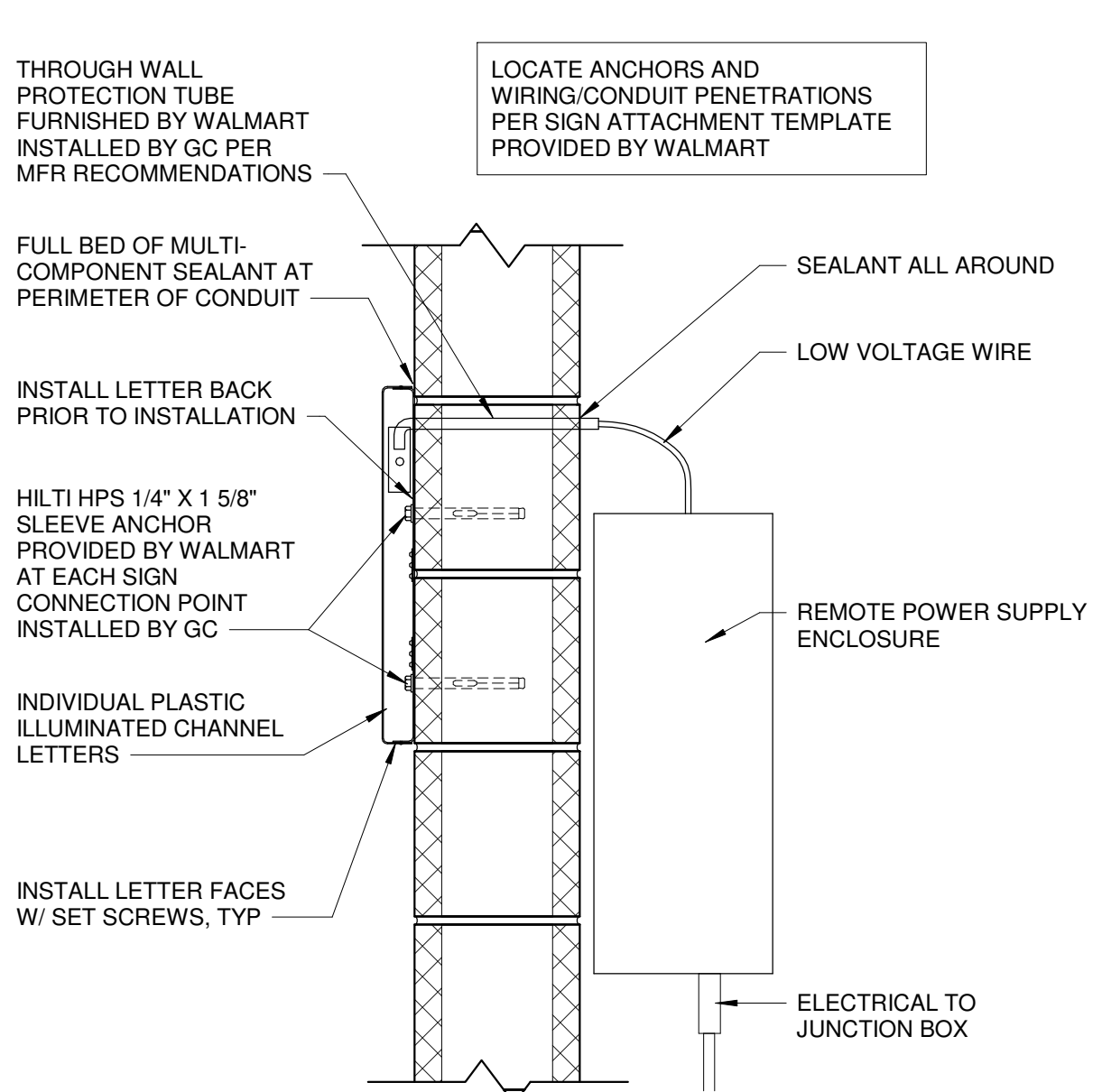
C:\Users\christopher\Documents\1784_SALEM_OR_192_ARCH_V20_christopher.txd



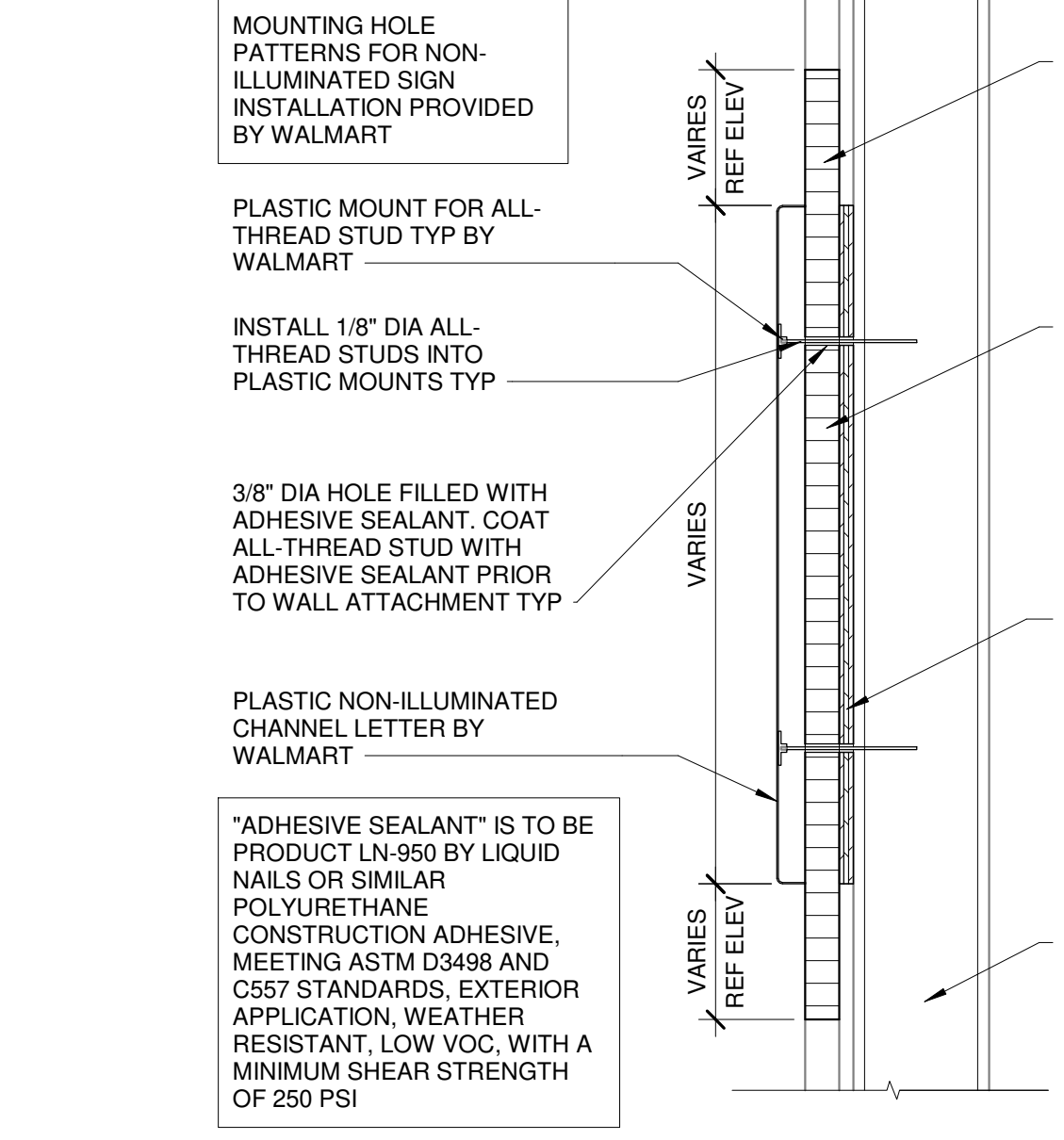
10 WALL PANEL SECTION CAPTURED (V2)
1 1/2" = 1'-0"



11 PYLON SIGN
3/16" = 1'-0"



9 SIGN ATTACHMENT
1 1/2" = 1'-0"



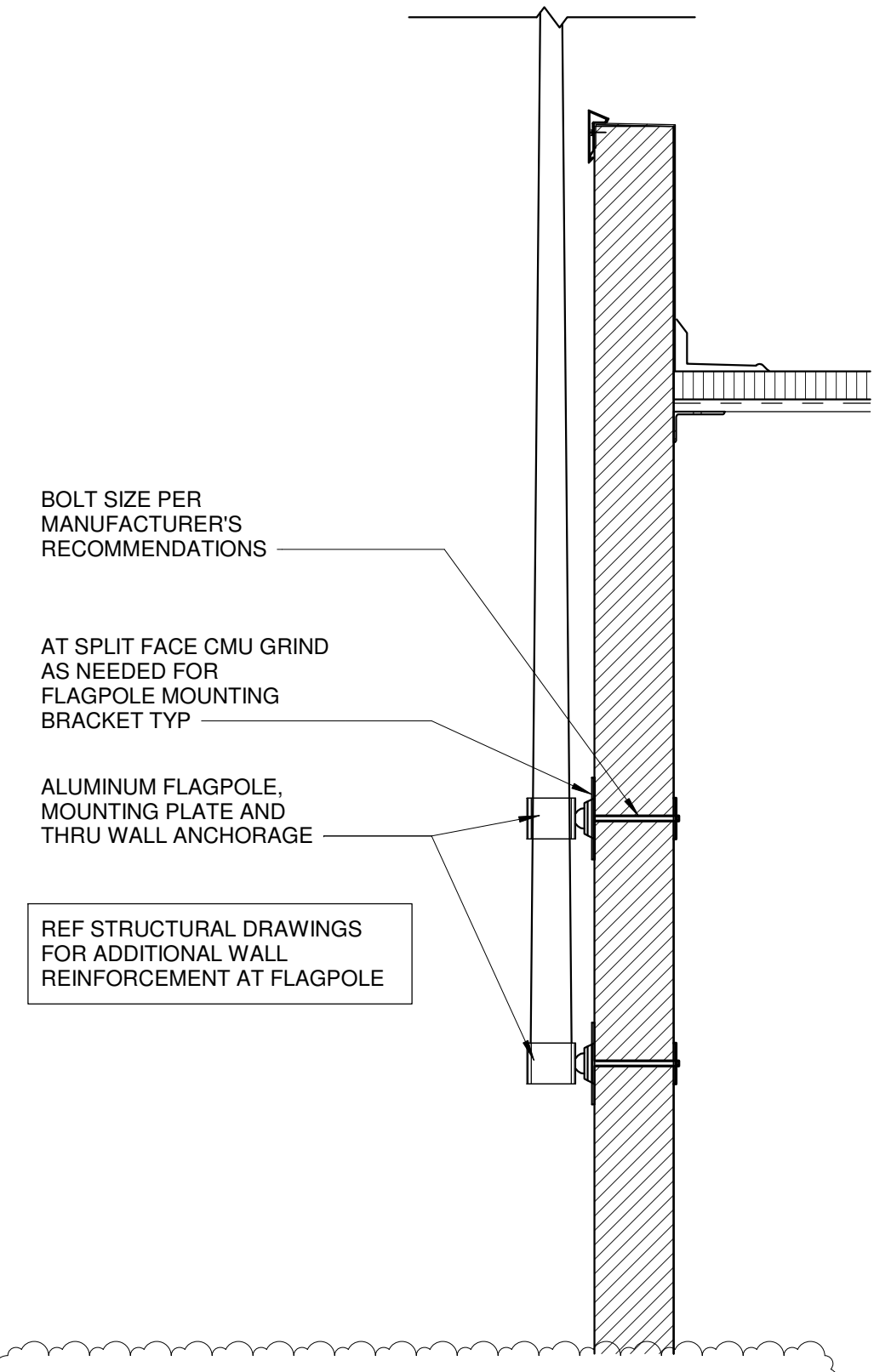
8 ATTACHMENT AT EIFS & METAL STUD WALL
1 1/2" = 1'-0"

SIGNAGE GENERAL NOTES

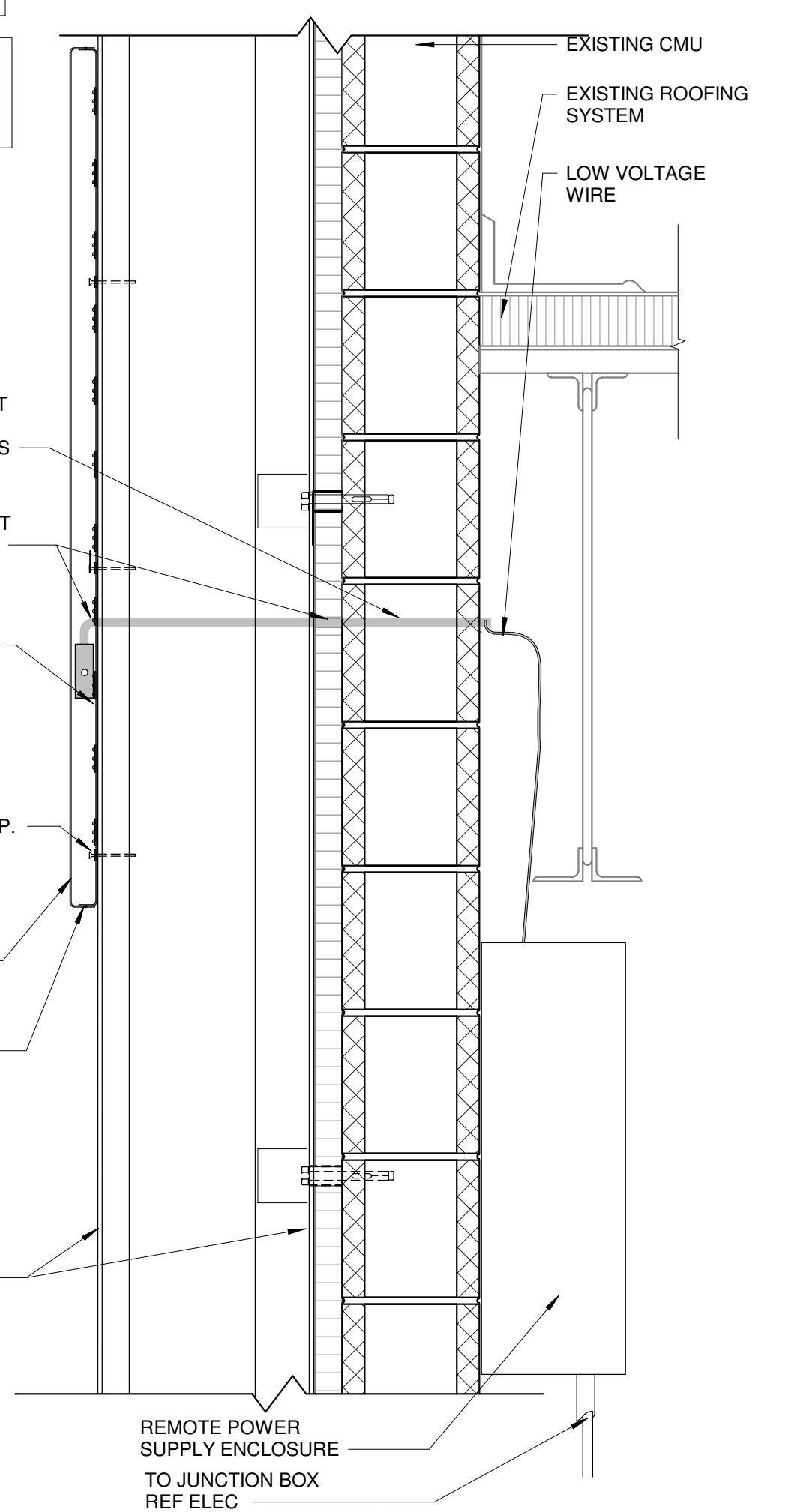
- SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY GC.
- ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE BUILDING UNTIL THE GC SIGN COMPANY IS ON-SITE. THE EXISTING SIGNAGE WILL THEN BE REMOVED, PATCH AND REPAIR WORK WILL BE COMPLETED AT SIGN LOCATIONS, AND SIGNAGE WILL BE INSTALLED PER PLANS.
 - A TEMPORARY BANNER WILL BE INSTALLED PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE. BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS AND/OR REPAIRS HAVE BEEN COMPLETED AND SIGNAGE IS INSTALLED.
 - TEMPORARY BANNER WILL BE APPROXIMATELY 125 SF (5'X25').
 - EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND COMPLETED DURING WEEK 6 OF THE CONSTRUCTION SCHEDULE.
- GENERAL CONTRACTOR RESPONSIBILITIES
 - BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGN(S) WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 01255. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION.
 - PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE. REFER TO SIGN DETAILS FOR LIGHTED ID/LOGO SIGNS.
 - PROVIDE JUNCTION BOXES AND CIRCUITRY TO "Walmart" and "spark" SIGNAGE. EXISTING (8) BOXES FROM "WAL-MART" SIGNAGE MAY BE REUSED.
 - NOT USED.
 - NOT USED.
 - VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE. REFER TO ELECTRICAL.
 - MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.
 - REMOVE ALL LIT ID/LOGO SIGNS AND UNIT EXTERIOR STUD MOUNTED BUILDING SIGNS, UNLESS NOTED OTHERWISE.
 - MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER SPECIFICATION SECTION 07900.
 - INSTALL SIGNAGE PER DETAILS.

EXISTING SIGNAGE SCHEDULE							NEW SIGNAGE SCHEDULE						
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	INDIVIDUAL AREA	TOTAL AREA	SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	INDIVIDUAL AREA	TOTAL AREA
FRONT SIGNAGE							FRONT SIGNAGE						
Walmart	1	LED	WHITE	5'-6"	298.00 SF	298.00 SF	Walmart	1	LED	WHITE	2'-1"	22.57 SF	22.57 SF
* (Spark)	1	LED	YELLOW	2'-0"	93.10 SF	93.10 SF	* (Spark)	1	LED	YELLOW	10'-3"	93.10 SF	93.10 SF
Pickup	1	LED	WHITE	2'-6"	40.83 SF	40.83 SF	* Pickup	1	LED	WHITE	2'-6"	40.83 SF	40.83 SF
* (Spark)	1	LED	YELLOW	4'-4 1/4"	69.76 SF	69.76 SF	Grocery	1	N/A	WHITE	2'-0"	26.27 SF	26.27 SF
Grocery	1	N/A	WHITE	2'-0"	25.63 SF	25.63 SF	Home & Pharmacy	1	N/A	WHITE	2'-0"	60.74 SF	60.74 SF
Home & Pharmacy	1	N/A	WHITE	2'-0"	61.85 SF	61.85 SF	Outdoor	1	N/A	WHITE	2'-0"	20.67 SF	20.67 SF
Outdoor Living	1	N/A	WHITE	2'-0"	49.74 SF	49.74 SF	Address Sign (3025)	1	N/A	BLACK	1'-0"	N/A SF	N/A SF
TOTAL FRONT SIGNAGE					504.98 SF	504.98 SF	TOTAL FRONT SIGNAGE					264.18 SF	264.18 SF
TOTAL BUILDING SIGNAGE					504.98 SF	504.98 SF	TOTAL BUILDING SIGNAGE					264.18 SF	264.18 SF

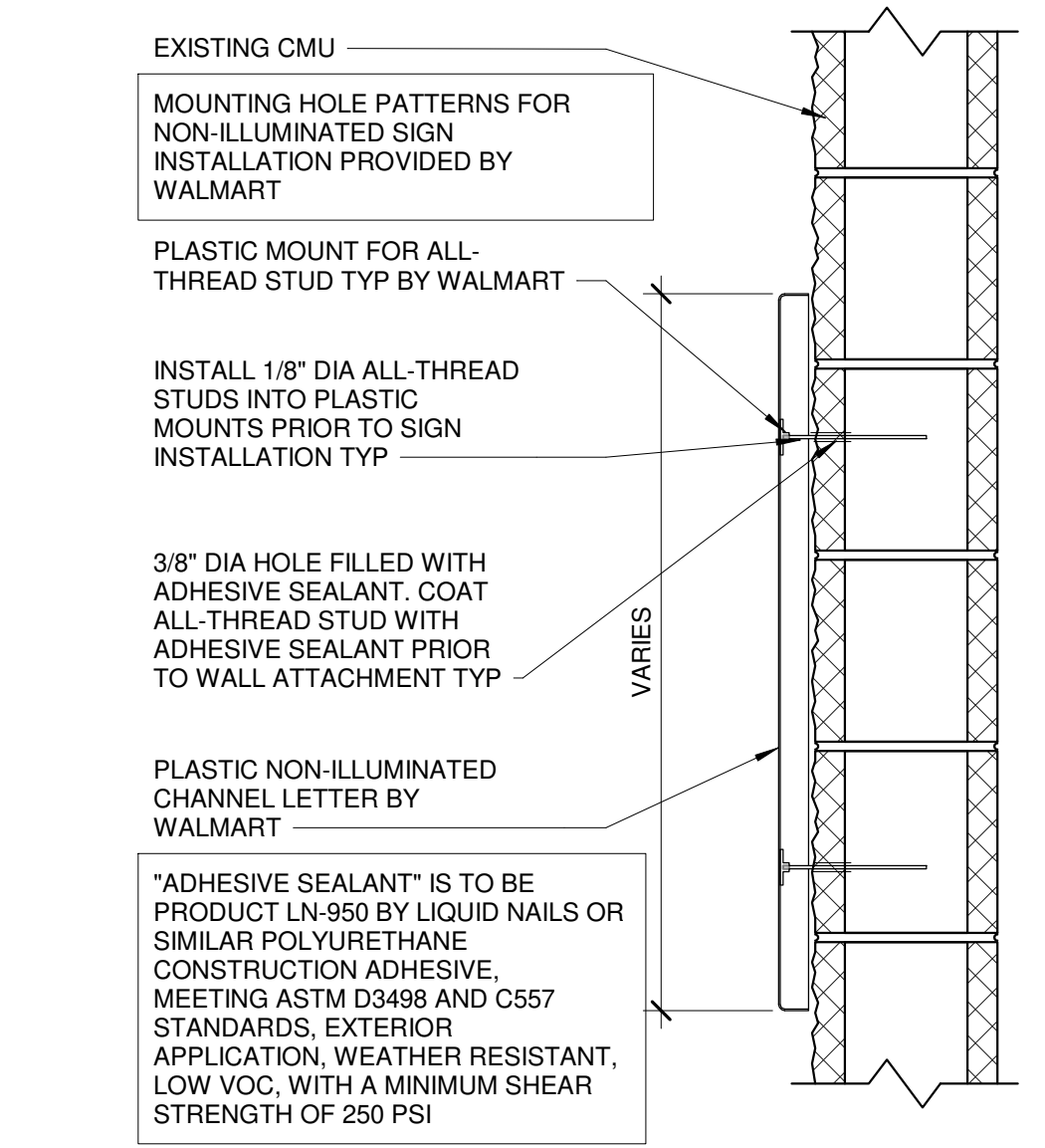
FOR REFERENCE ONLY:
"SEPERATE PERMIT IS REQUIRED"



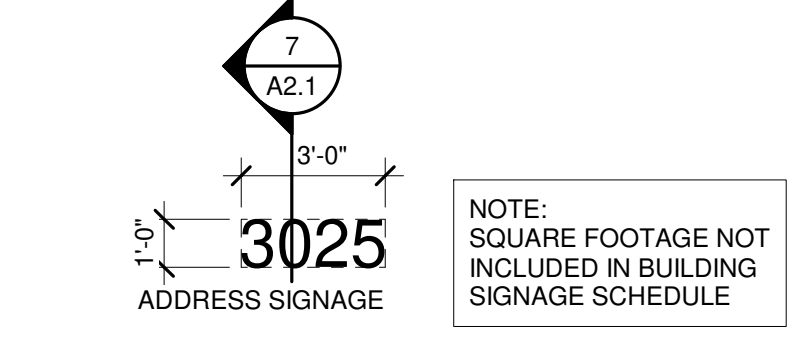
12 FLAGPOLE ATTACHMENT
3/4" = 1'-0"



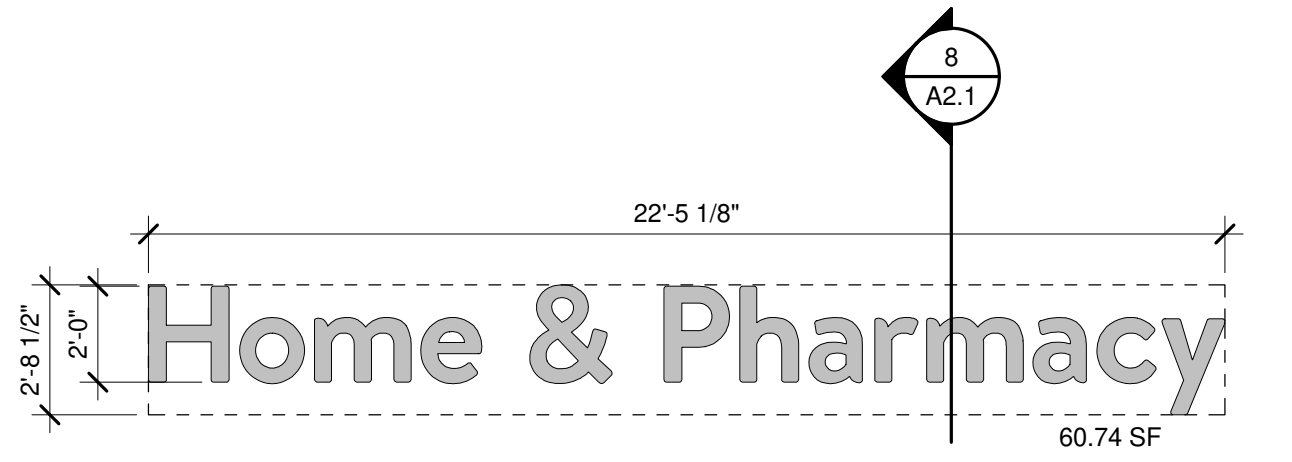
ATTACHMENT AT EIFS AND CMU BELOW ROOFLINE



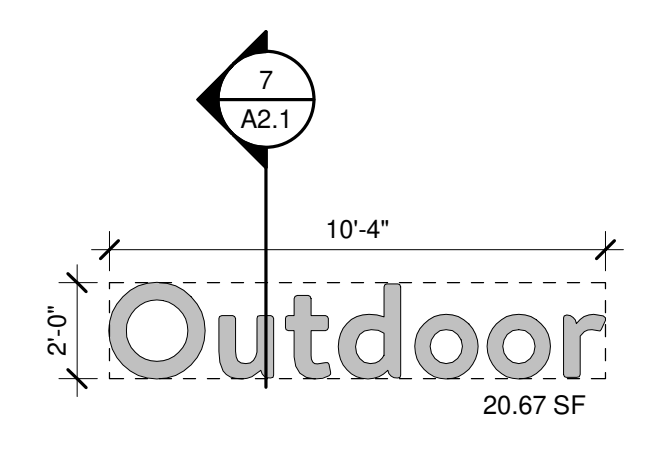
7 SIGN ATTACHMENT AT CMU
1 1/2" = 1'-0"



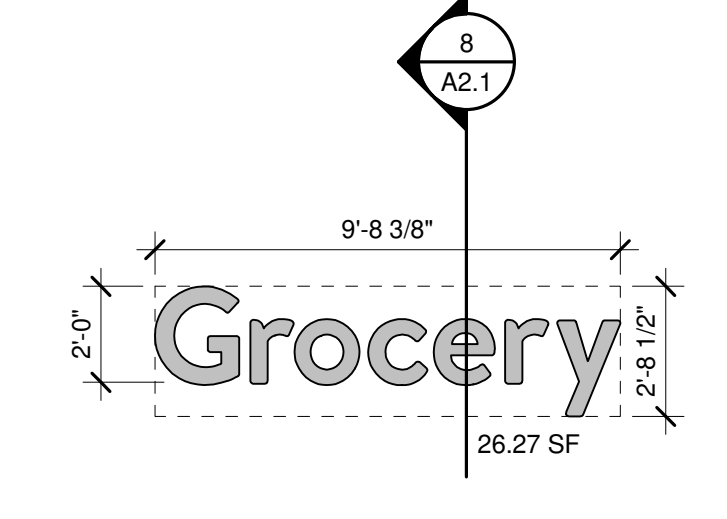
6 1'-0" ADDRESS
1/4" = 1'-0"



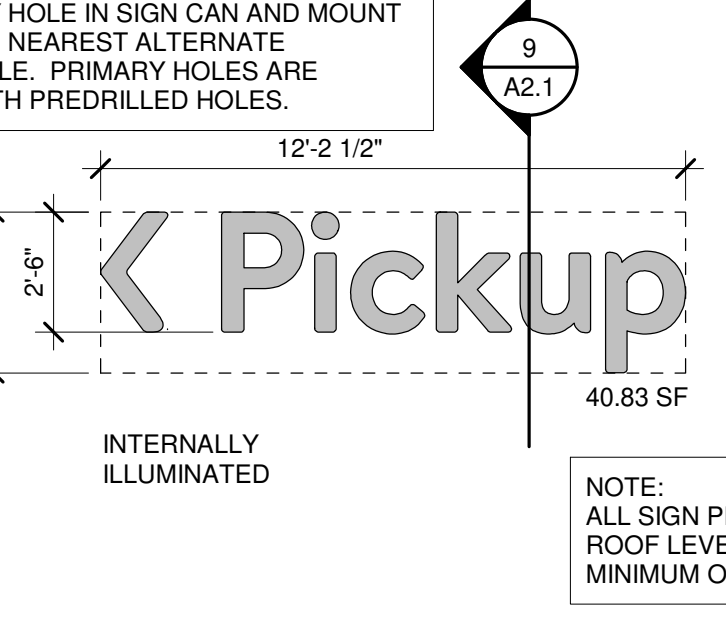
5 2'-0" HOME & PHARMACY
1/4" = 1'-0"



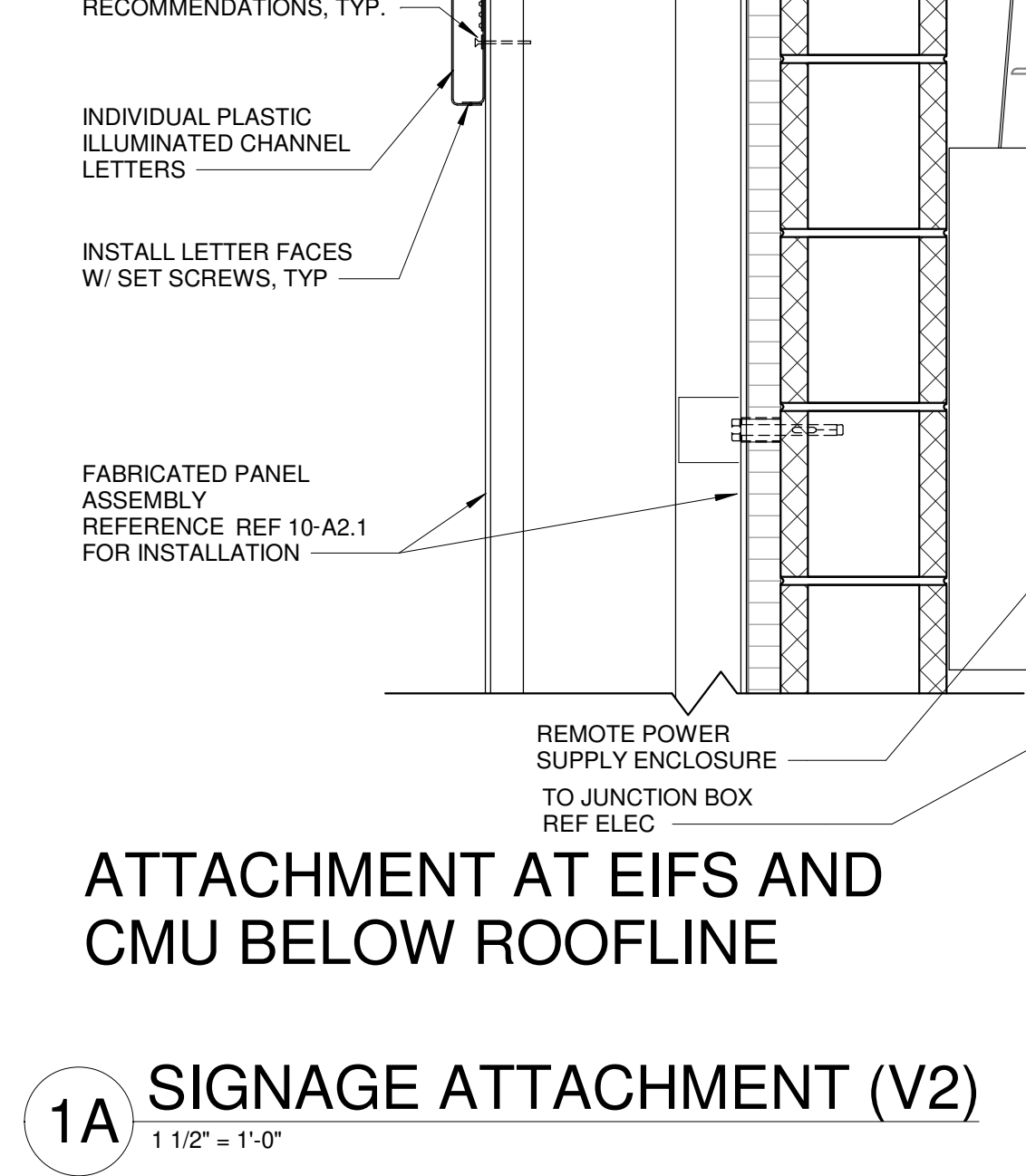
4 2'-0" OUTDOOR
1/4" = 1'-0"



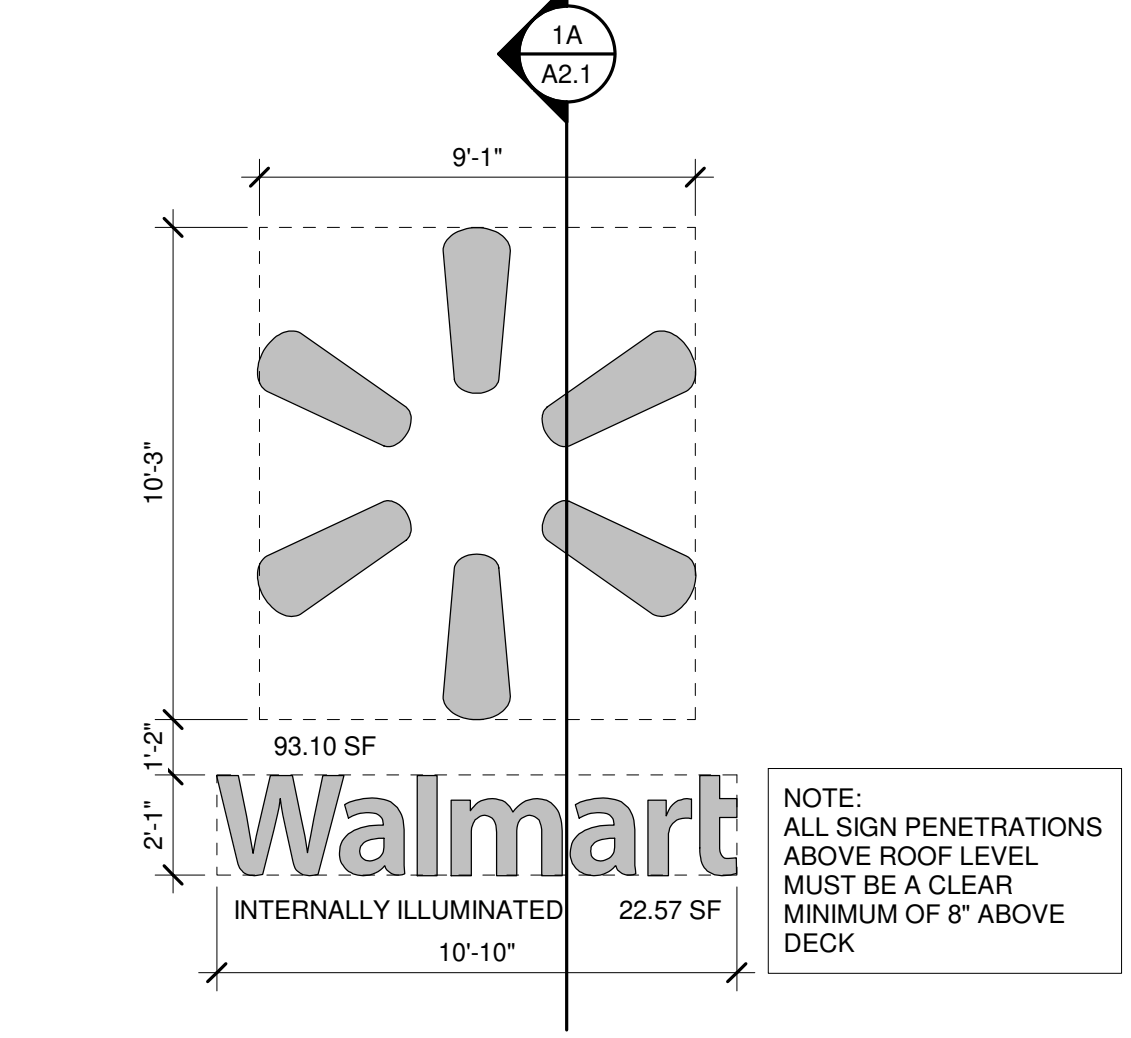
3 2'-0" GROCERY
1/4" = 1'-0"



2 2'-6" PICKUP ARROW
1/4" = 1'-0"



1A SIGNAGE ATTACHMENT (V2)
1 1/2" = 1'-0"



1 10'-3" WALMART SIGN
1/4" = 1'-0"

ISSUE BLOCK

NO.	DATE	DESCRIPTION
1	02.09.2023	ADD 1

CHECKED BY: CWB
DRAWN BY: CLT
PROTO: 192
PROTO CYCLE: 09.30.22
DOCUMENT DATE: 12.13.22

DOCUMENTS THAT DO NOT HAVE THE ARCHITECT OR ENGINEER OF RECORD SEAL AND SIGNATURE SHALL BE CONSIDERED NOT FOR CONSTRUCTION.

EXTERIOR SIGNAGE

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