



NOTICE of FILING

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.

CASE NUMBER:	Replat Tentative Plan / Class 3 Site Plan Review / Class 2 Driveway Approach Permit Case No. REP-SPR-DAP23-04
PROPERTY LOCATION:	1920-1940 Hyacinth St NE, Salem OR 97301
NOTICE MAILING DATE:	July 19, 2023
PROPOSAL SUMMARY:	A consolidated application for development of a heavy vehicle and trailer storage lot.
COMMENT PERIOD:	All written comments must be submitted to City Staff no later than 5:00 p.m. Wednesday, August 2, 2023. Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. <i>Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.</i>
CASE MANAGER:	Jamie Donaldson, Planner II , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2328; E-mail: jdonaldson@cityofsalem.net
NEIGHBORHOOD ASSOCIATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> Northgate Neighborhood Association; Email: northgateneighborhoodsalem@gmail.com .
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA TO BE CONSIDERED:	Salem Revised Code (SRC) Chapter(s) 205.025(d) – Replat Tentative Plan; 220.005(f)(3) – Class 3 Site Plan Review; 804.025(d) – Class 2 Driveway Approach Permit Salem Revised Code (SRC) is available to view at this link: http://bit.ly/salemorcode . Type in the chapter number(s) listed above to view the applicable criteria.

PROPERTY OWNER(S):	CRP/PDC Salem Hyacinth Street Owner LLC (Richard Plackter, Phelan Family Trust, Jeffrey Phelan, Michael Dearnmey, Katrina Dearnmey)
APPLICANT(S):	AAI Engineering
PROPOSAL REQUEST:	An application for a Tentative Replat to reconfigure seven units of land into two lots 3.3 acres and 22.8 acres in size, in conjunction with a Class 3 Site Plan Review for the development of a heavy vehicle and trailer storage lot with no buildings, and two Class 2 Driveway Approach Permits for access to each lot. The subject properties are approximately 26.5 acres in total size, zoned IC (Industrial Commercial), and located at 1920-1940 Hyacinth Street NE (Marion County Assessors Map and Tax Lot Numbers: 073W12B / 5900, 1500, 2003, 2004, 2100, and 2101).
APPLICATION PROCESS:	<p>Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.</p> <p>Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p>
MORE INFORMATION:	All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at https://permits.cityofsalem.net . You can use the search function without registering and enter the permit number listed here: 23 107428. Paper copies can be obtained for a reasonable cost.

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE
For more information about Planning in Salem:
<http://www.cityofsalem.net/planning>

It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7

REQUEST FOR COMMENTS

Si necesita ayuda para comprender esta información, por favor llame 503-588-6173

REGARDING: Replat Tentative Plan / Class 3 Site Plan Review / Class 2 Driveway Approach Permit Case No. REP-SPR-DAP23-04

PROJECT ADDRESS: 1920-1940 Hyacinth St NE, Salem OR 97301

AMANDA Application No.: 23-107428-PLN

COMMENT PERIOD ENDS: August 2, 2023

SUMMARY: A consolidated application for development of a heavy vehicle and trailer storage lot.

REQUEST: An application for a Tentative Replat to reconfigure seven units of land into two lots 3.3 acres and 22.8 acres in size, in conjunction with a Class 3 Site Plan Review for the development of a heavy vehicle and trailer storage lot with no buildings, and two Class 2 Driveway Approach Permits for access to each lot. The subject properties are approximately 26.5 acres in total size, zoned IC (Industrial Commercial), and located at 1920-1940 Hyacinth Street NE (Marion County Assessors Map and Tax Lot Numbers: 073W12B / 5900, 1500, 2003, 2004, 2100, and 2101).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

Comments received by 5:00 p.m. Wednesday, August 2, 2023, will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.*

CASE MANAGER: Jamie Donaldson, Planner II, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2328; E-Mail: jdonaldson@cityofsalem.net.

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

PLEASE CHECK THE FOLLOWING THAT APPLY:

- 1. I have reviewed the proposal and have no objections to it.
- 2. I have reviewed the proposal and have the following comments: _____

Name/Agency: _____

Address: _____

Phone: _____

Email: _____

Date: _____

IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM



NO POSTAGE
NECESSARY
IF MAILED
IN THE
UNITED STATES

BUSINESS REPLY MAIL
FIRST-CLASS MAIL PERMIT NO. 1508 SALEM, OR

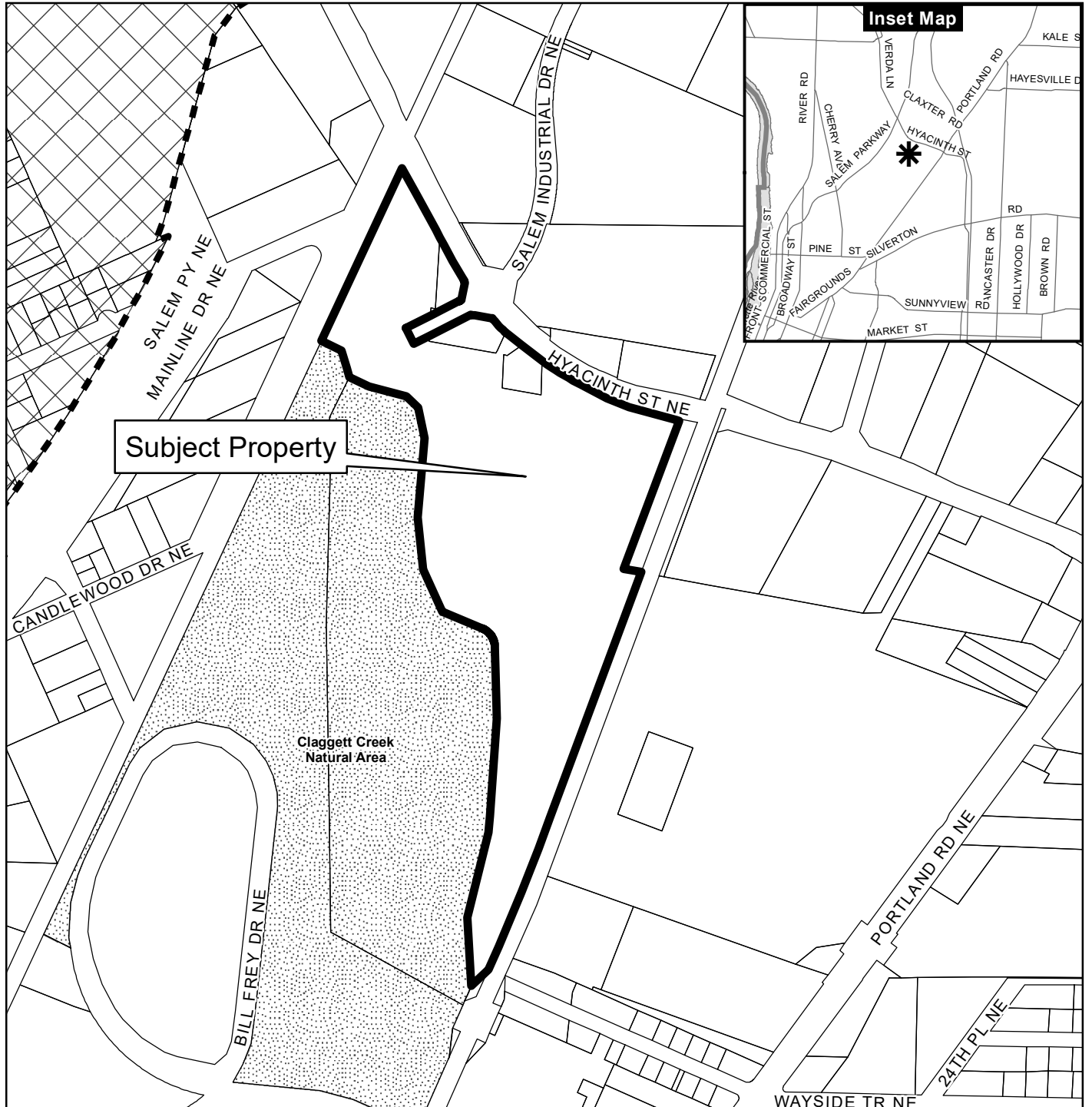
POSTAGE WILL BE PAID BY ADDRESSEE

PLANNING DIVISION
CITY OF SALEM RM 305
555 LIBERTY ST SE
SALEM OR 97301-9907



Vicinity Map

1920-1940 Hyacinth Street NE






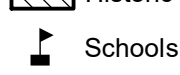



Subject Property

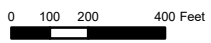
Claggett Creek Natural Area

Inset Map

Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks

CITY OF Salem
 AT YOUR SERVICE
 Community Development Dept.



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NOTES

1. THE SURVEYED PROPERTY HAS TWO ADDRESSES, 1940 HYACINTH STREET NE AND 2045 HYACINTH STREET NE, SALEM, OREGON.
2. THE AREA OF PARCEL I IS 0.403 ACRES, MORE OR LESS. THE AREA OF PARCEL II IS 0.492 ACRES, MORE OR LESS. THE AREA OF PARCEL III IS 0.337 ACRES, MORE OR LESS. THE AREA OF PARCEL IV IS 25.263 ACRES, MORE OR LESS. THE TOTAL GROSS PROPERTY AREA IS 28.495 ACRES, MORE OR LESS.
3. ELEVATIONS AND CONTOURS ARE BASED ON THE CITY OF SALEM BENCHMARK NAMED "HYAWITH". THE BENCHMARK IS AN ALUMINUM DISK AT THE NORTHWEST CORNER OF THE INTERSECTION OF HYACINTH STREET AND HAWTHORNE AVENUE. IT HAS AN ELEVATION OF 159.21 FEET ON THE NGVD 1929 DATUM.
4. THE PROPERTY HAS FRONTAGE ALONG THE PUBLIC RIGHTS-OF-WAY OF HYACINTH STREET NE AND SALEM INDUSTRIAL DRIVE. VEHICULAR ACCESS TO THE PROPERTY IS ATTAINED VIA CURB CUTS WITH ASPHALT/GRAVEL DRIVEWAYS FROM HYACINTH STREET NE IN THREE LOCATIONS, AS SHOWN ON SHEETS 6 AND 7. THE STREET IMPROVEMENTS FOR SALEM INDUSTRIAL DRIVE END NEAR THE SURVEYED PROPERTY LINE AND VEHICULAR ACCESS CAN BE OBTAINED TO THE SURVEYED PROPERTY OFF THE END OF THE IMPROVED STREET.
5. THE PROPERTY IS LOCATED ON THE FLOOD INSURANCE RATE MAP FOR MARION COUNTY, OREGON WITH A MAP NUMBER 41047C0332G HAVING AN EFFECTIVE DATE OF JANUARY 19, 2000. THIS MAP SHOWS THAT THE MAJORITY OF THE PROPERTY IS LOCATED WITHIN THE UNSHADED ZONE "X" DESCRIBED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN". THE SOUTHWESTERLY BOUNDARY OF THE SURVEYED PROPERTY IS LOCATED IN ZONE "AE", DEFINED AS: "SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED". THE MAP INDICATES THAT THE 100-YEAR FLOOD ELEVATION VARIES FROM 132 FEET NEAR THE MOST WESTERLY NORTH CORNER OF THE PROPERTY TO 138 FEET NEAR THE MOST SOUTHERLY WEST BOUNDARY. THE FLOOD ELEVATION ARE BASED ON THE NGVD 1929 DATUM.
6. THE UNDERGROUND UTILITIES ARE BASED ON THE MARKINGS PER LOCATE TICKET NUMBERS 22046673 AND 22046693.
7. THERE WAS NO EVIDENCE OF RECENT EARTH MOVING, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
8. THE NEAREST INTERSECTING STREET IS HYACINTH STREET NE AND SALEM INDUSTRIAL DRIVE, AS SHOWN.

POTENTIAL ENCROACHMENTS

- ⚠️ POWER POLES WITH OVERHEAD WIRES EXTEND ONTO THE SURVEYED PROPERTY ALONG THE EASTERLY BOUNDARY UP TO 9.5 FEET, AS SHOWN. AN EASEMENT GRANTING THIS USE WAS NOT INCLUDED IN THE DOCUMENTS PROVIDED TO THE SURVEYOR.
- ⚠️ TELEPHONE MANHOLES WITH SIGNAGE INDICATING UNDERGROUND TELEPHONE LINES EXTEND OUTSIDE OF THE TELEPHONE EASEMENT UP TO 42 FEET, AS SHOWN.
- ⚠️ A 6' HIGH CHAIN LINK FENCE ALONG THE EASTERLY BOUNDARY MEANDERS AND IS LOCATED ON BOTH SIDES OF THE PROPERTY LINE IN VARIOUS PLACES, AS SHOWN. OWNERSHIP OF THE FENCE IS UNKNOWN.
- ⚠️ A UTILITY POLE WITH OVERHEAD WIRES AND GUY ANCHORS ARE LOCATED ON THE SURVEYED PROPERTY, AS SHOWN ON SHEET 7. NO EASEMENT FOR THIS USE WAS INCLUDED IN THE DOCUMENTS PROVIDED TO THE SURVEYOR.
- ⚠️ THE SIDEWALK EXTENDS ONTO THE SURVEYED PROPERTY UP TO 1.8 FEET ALONG THE NORTHEASTERLY BOUNDARY, AS SHOWN ON SHEET 8. NO EASEMENT FOR THIS USE WAS INCLUDED IN THE DOCUMENTS PROVIDED TO THE SURVEYOR.

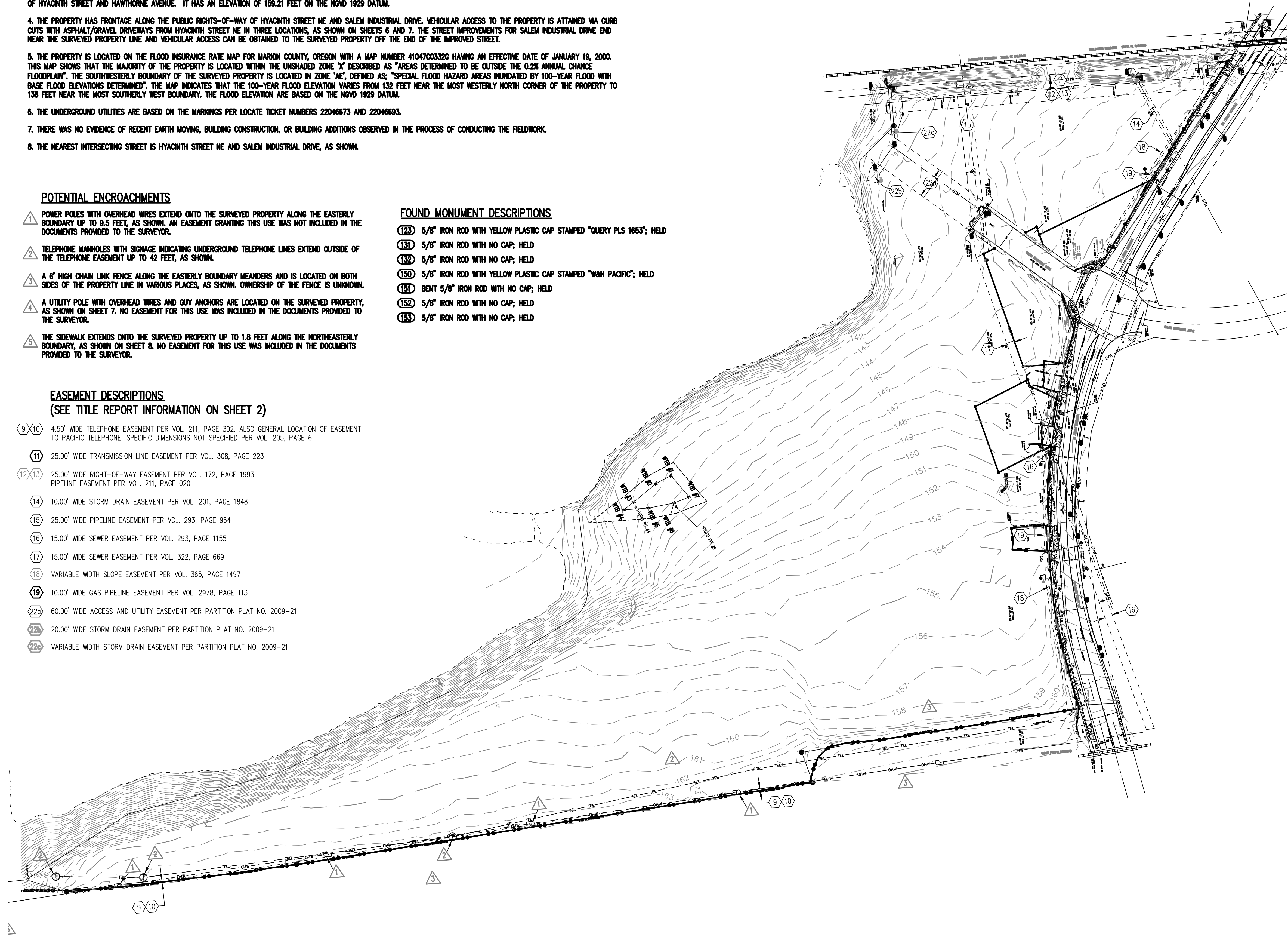
FOUND MONUMENT DESCRIPTIONS

- ⑫③ 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "QUERY PLS 1653"; HELD
- ⑬① 5/8" IRON ROD WITH NO CAP; HELD
- ⑬② 5/8" IRON ROD WITH NO CAP; HELD
- ⑬⑤ 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "W&H PACIFIC"; HELD
- ⑬⑥ BENT 5/8" IRON ROD WITH NO CAP; HELD
- ⑬⑧ 5/8" IRON ROD WITH NO CAP; HELD
- ⑬⑤ 5/8" IRON ROD WITH NO CAP; HELD

EASEMENT DESCRIPTIONS

(SEE TITLE REPORT INFORMATION ON SHEET 2)

- ⑨⑩ 4.50' WIDE TELEPHONE EASEMENT PER VOL. 211, PAGE 302. ALSO GENERAL LOCATION OF EASEMENT TO PACIFIC TELEPHONE, SPECIFIC DIMENSIONS NOT SPECIFIED PER VOL. 205, PAGE 6
- ⑪ 25.00' WIDE TRANSMISSION LINE EASEMENT PER VOL. 308, PAGE 223
- ⑫⑬ 25.00' WIDE RIGHT-OF-WAY EASEMENT PER VOL. 172, PAGE 1993. PIPELINE EASEMENT PER VOL. 211, PAGE 020
- ⑭ 10.00' WIDE STORM DRAIN EASEMENT PER VOL. 201, PAGE 1848
- ⑮ 25.00' WIDE PIPELINE EASEMENT PER VOL. 293, PAGE 964
- ⑯ 15.00' WIDE SEWER EASEMENT PER VOL. 293, PAGE 1155
- ⑰ 15.00' WIDE SEWER EASEMENT PER VOL. 322, PAGE 669
- ⑱ VARIABLE WIDTH SLOPE EASEMENT PER VOL. 365, PAGE 1497
- ⑲ 10.00' WIDE GAS PIPELINE EASEMENT PER VOL. 2978, PAGE 113
- ⑳ 60.00' WIDE ACCESS AND UTILITY EASEMENT PER PARTITION PLAT NO. 2009-21
- ㉑ 20.00' WIDE STORM DRAIN EASEMENT PER PARTITION PLAT NO. 2009-21
- ㉒ VARIABLE WIDTH STORM DRAIN EASEMENT PER PARTITION PLAT NO. 2009-21



LEGEND			
MAPLE TREE WITH SIZE NOTED	⊕	GUY WIRE ANCHOR	⊕
FIRE HYDRANT	⊕	UTILITY POLE	⊕
WATER BLOWOFF	⊕	ELECTRICAL METER	⊕
WATER METER	⊕	POWER JUNCTION BOX	⊕
WATER VALVE	⊕	POWER TRANSFORMER	⊕
SANITARY SEWER CLEAN OUT	⊕	STREET LIGHT	⊕
SANITARY SEWER MANHOLE	⊕	TELEPHONE/TELEVISION VAULT	⊕
STORM SEWER CLEAN OUT	⊕	TELEPHONE/TELEVISION RISER	⊕
STORM SEWER CATCH BASIN	⊕	SIGNAL JUNCTION BOX	⊕
STORM SEWER MANHOLE	⊕	SIGNAL POLE	⊕
MAILBOX	⊕	PEDESTRIAN CROSSING POLE	⊕
SIGN	⊕	BOLLARD	⊕
		FOUND SURVEY MONUMENT	⊕
RIGHT-OF-WAY LINE	---		
BOUNDARY LINE	---		
PROPERTY LINE	---		
CENTERLINE	---		
CURB	---		
EDGE OF PAVEMENT	---		
EASEMENT	---		
FENCE LINE	---		
GRAVEL EDGE	---		
POWER LINE	---		
OVERHEAD WIRE	---		
TELEPHONE LINE	---		
GAS LINE	---		
STORM SEWER LINE	---		
SANITARY SEWER LINE	---		
WATER LINE	---		
TRAFFIC SIGNAL WIRE	---		
RAILROAD TRACKS	---		

AAI ENGINEERING
 4975 SW Center Drive, Suite 405
 Newport Beach, CA 92660

PHELAN
 DEVELOPMENT
 450 Newport Center Drive, Suite 405
 Newport Beach, CA 92660

HYACINTH - SALEM
 SALEM, OR

SHEET TITLE

EXISTING CONDITIONS

DATE: 03/16/2023

DRAWN: AAT

CHECKED: CFT

REVISIONS:

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 SHEET NUMBER

C0.2

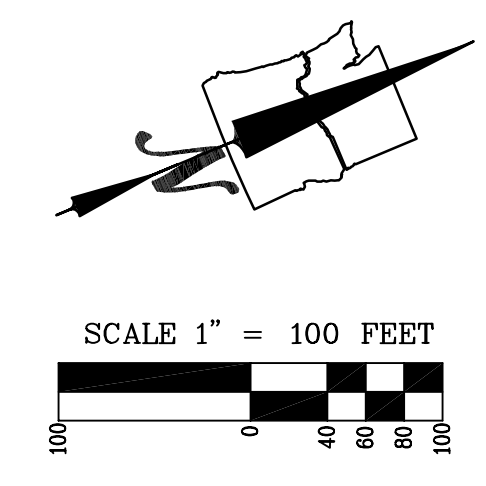
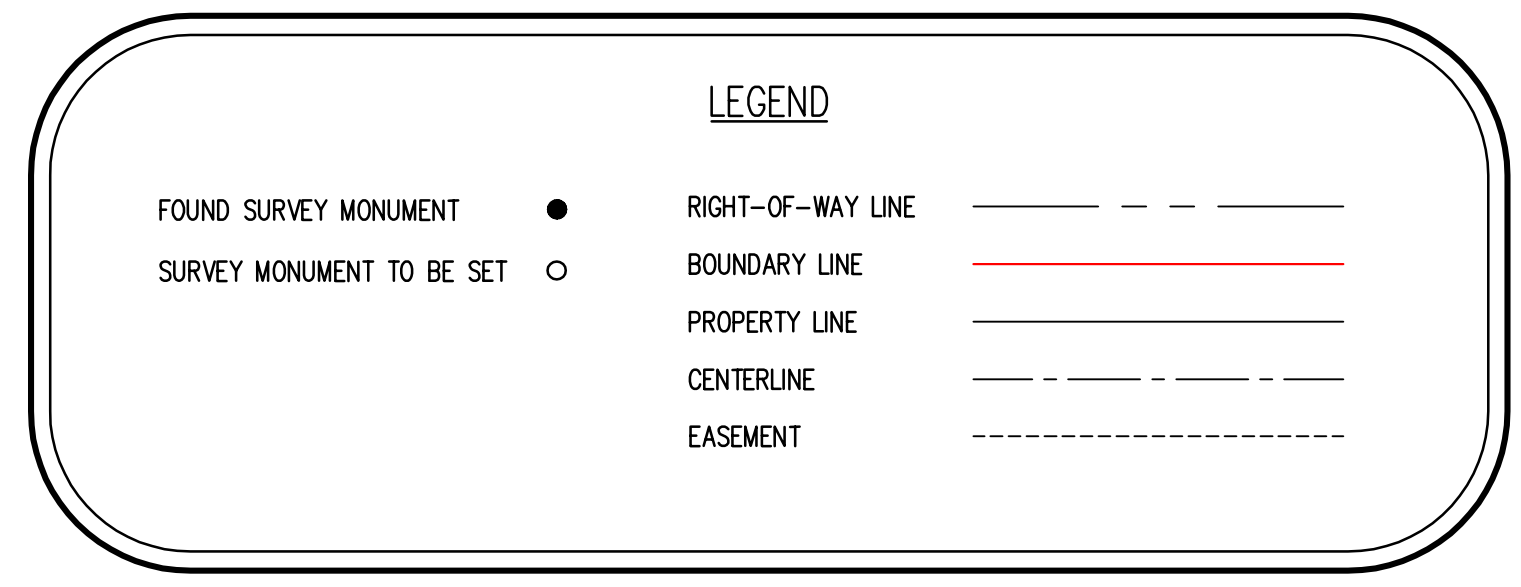
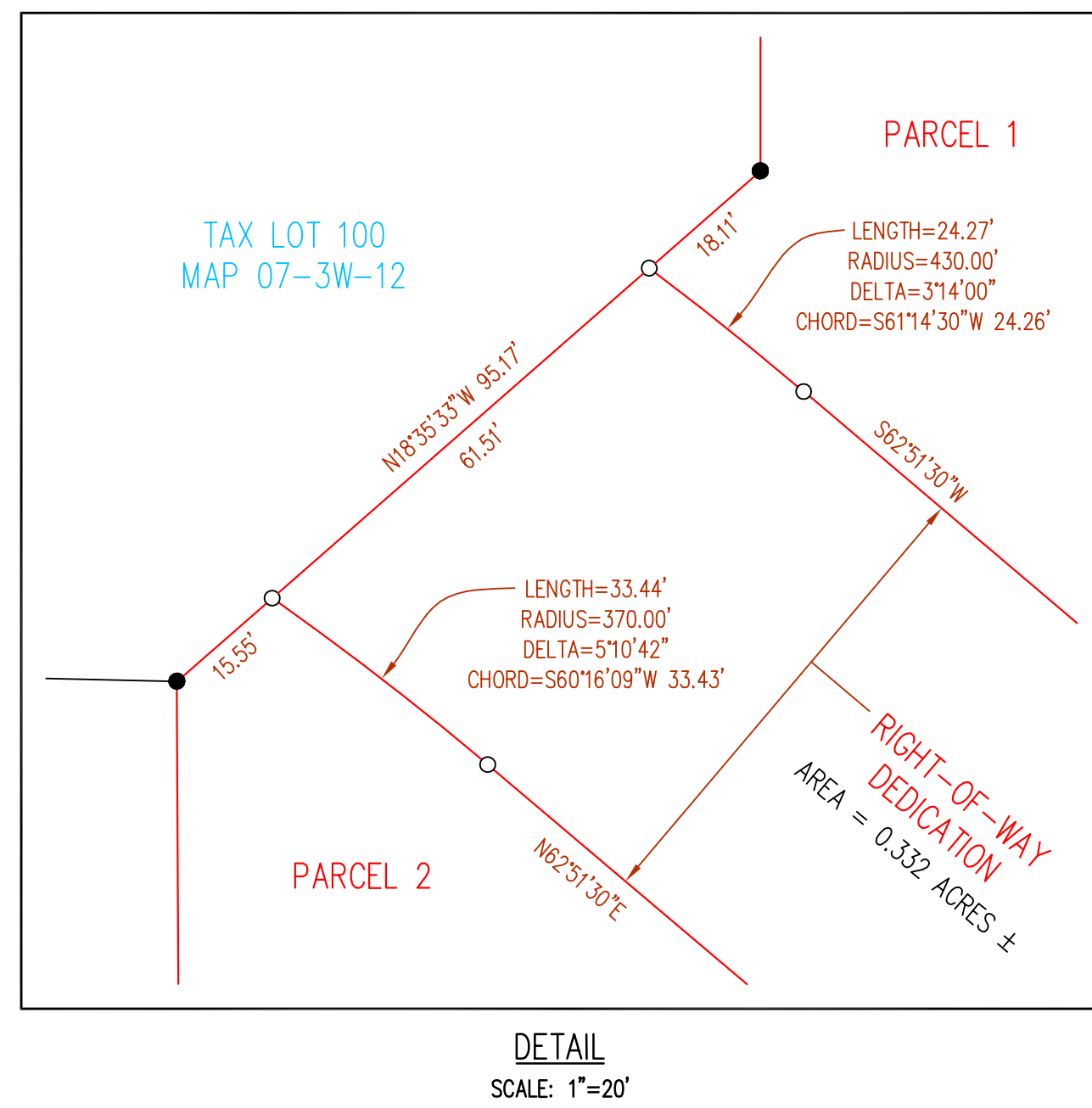
JOB NUMBER: A22046.10

EASEMENT DESCRIPTIONS

- ① 4.50' WIDE TELEPHONE EASEMENT PER VOL. 211, PAGE 302. ALSO GENERAL LOCATION OF EASEMENT TO PACIFIC TELEPHONE. SPECIFIC DIMENSIONS NOT SPECIFIED PER VOL. 205, PAGE 6
- ② 25.00' WIDE TRANSMISSION LINE EASEMENT PER VOL. 308, PAGE 223
- ③ 25.00' WIDE RIGHT-OF-WAY EASEMENT PER VOL. 172, PAGE 1993. PIPELINE EASEMENT PER VOL. 211, PAGE 020
- ④ 10.00' WIDE STORM DRAIN EASEMENT PER VOL. 201, PAGE 1848
- ⑤ 25.00' WIDE PIPELINE EASEMENT PER VOL. 293, PAGE 964
- ⑥ 15.00' WIDE SEWER EASEMENT PER VOL. 293, PAGE 1155
- ⑦ 15.00' WIDE SEWER EASEMENT PER VOL. 322, PAGE 669
- ⑧ VARIABLE WIDTH SLOPE EASEMENT PER VOL. 365, PAGE 1497
- ⑨ 10.00' WIDE GAS PIPELINE EASEMENT PER VOL. 2978, PAGE 113
- ⑩ 20.00' WIDE TELECOMMUNICATIONS EASEMENT PER REEL 3542, PAGE 204 AND REEL 3574, PAGE 405.
- ⑪ 60.00' WIDE ACCESS AND UTILITY EASEMENT PER PARTITION PLAT NO. 2009-21
- ⑫ 20.00' WIDE STORM DRAIN EASEMENT PER PARTITION PLAT NO. 2009-21
- ⑬ VARIABLE WIDTH STORM DRAIN EASEMENT PER PARTITION PLAT NO. 2009-21

NOTES

- 1) THE GROSS AREA OF THE SURVEYED PROPERTY IS 26.49 ACRES, MORE OR LESS.
- 2) THE RIGHT-OF-WAY WIDTHS ARE BASED ON RECORD SURVEYS, PLATS AND THE COUNTY TAX ASSESSOR'S MAP.
- 3) THE PROPERTY HAS FRONTAGE ON THE PUBLIC RIGHT-OF-WAY OF HYACINTH STREET NE AND SALEM INDUSTRIAL DRIVE. THERE IS VEHICULAR ACCESS TO THE SURVEYED PROPERTY FROM BOTH STREETS.
- 4) THERE ARE NO EXISTING BUILDINGS LOCATED ON THE SURVEYED PROPERTY.
- 5) THERE ARE NO PROPOSED STRUCTURES, ROADS, DRIVEWAYS, UTILITY LINES, EASEMENTS, SEPTIC OR STORM SYSTEMS AT THIS TIME.



ORTHWEST SURVEYING, INC.
 1815 NW 169TH PLACE, SUITE 2090
 BEAVERTON, OR 97006
 PH: (503) 848-2127 FAX: (503) 848-2179
 EMAIL: nwsurveying@nwsurvey.com

PARCEL 1, PARTITION PLAT NO. 2009-021, AND OTHER PROPERTIES, LOCATED IN THE NW 1/4 OF SECTION 12, TOWNSHIP 7 SOUTH, RANGE 3 WEST, WM., CITY OF KEIZER, MARION COUNTY, OREGON

PRELIMINARY PLAT
SALEM, OREGON

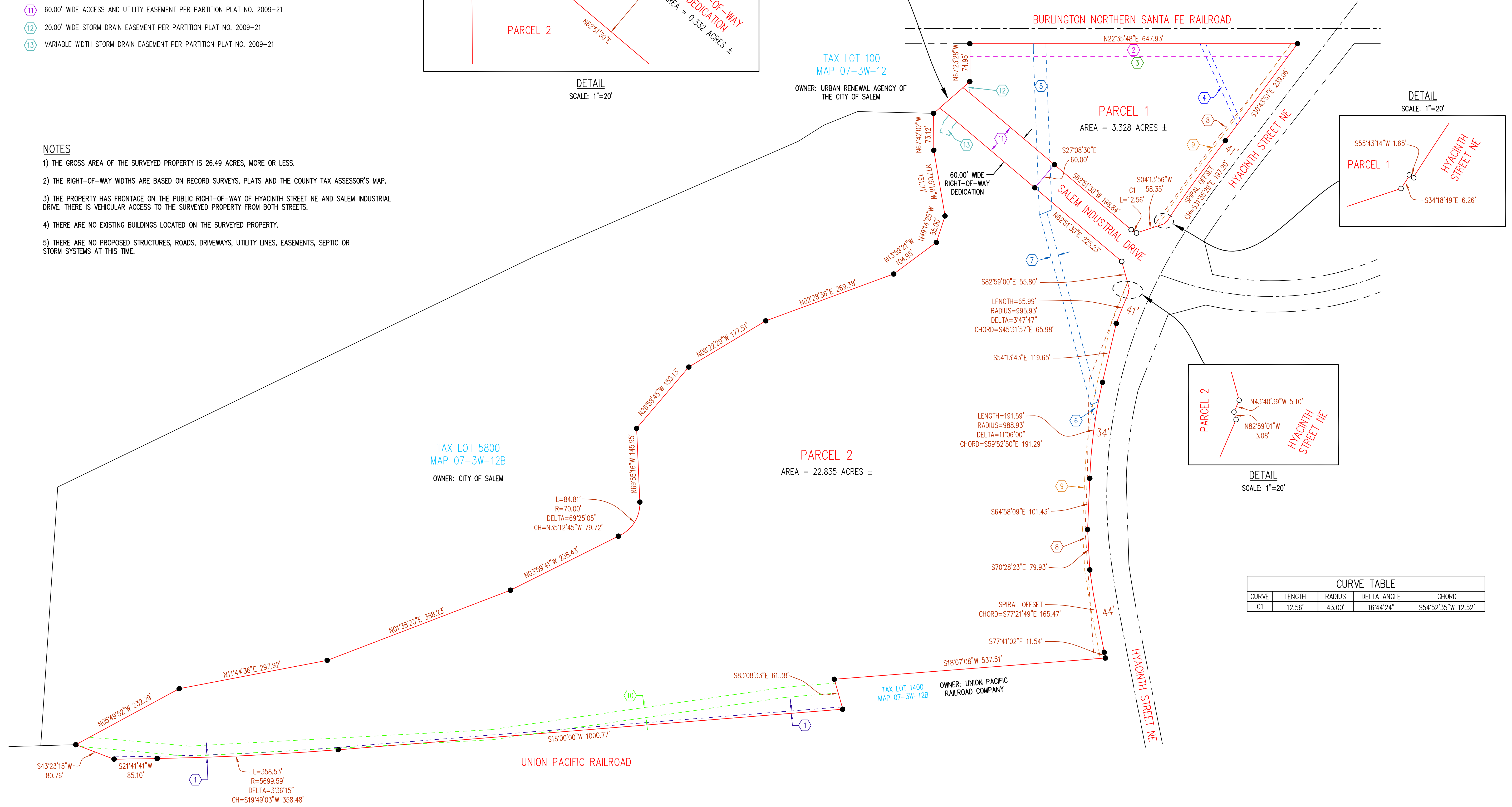
DRAWING NO.: 2417 PRE PLAT
 SCALE: AS NOTED
 DRAWING GENERATED BY LD2004
 DRAWN BY: CDW
 CHECKED BY: CHS
PREPARED FOR:
 PHELAN DEVELOPMENT COMPANY
 450 NEWPORT CENTER DRIVE,
 SUITE 405
 NEWPORT BEACH, CA 92660

REVISIONS:
 INITIAL RELEASE: MAR. 31, 2023

REGISTERED PROFESSIONAL LAND SURVEYOR

 OREGON
 JANUARY 15, 2002
 CLINTON H. STUBBS JR.
 55469LS
 RENEWS: 06/30/24

JOB NUMBER
2417
 SHEET
1 OF 1



CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA ANGLE	CHORD
C1	12.56'	43.00'	16°44'24"	S54°52'36"W 12.52'

SHEET NOTES

1. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE INFORMATION.
2. THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
3. THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.

LEGEND

- PROPERTY LINE
- SETBACK LINE
- ASPHALT SURFACING



HYACINTH - SALEM
SALEM, OR

SHEET TITLE

HARDSCAPE PLAN

DATE: 03/16/2023

DRAWN: AAT

CHECKED: CFT

REVISIONS:

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SHEET NUMBER

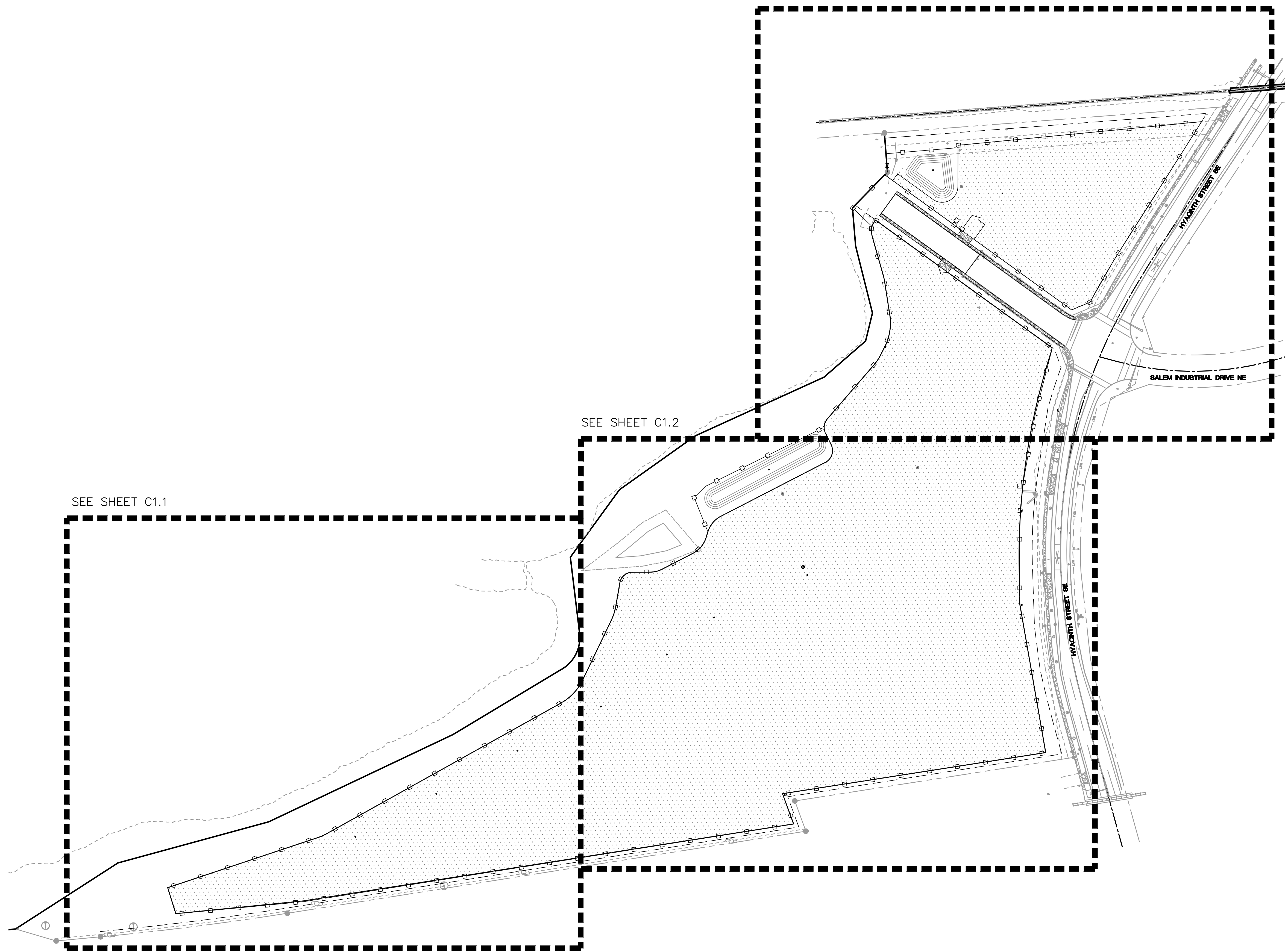
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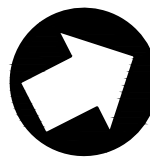
SEE SHEET C1.3

SEE SHEET C1.2

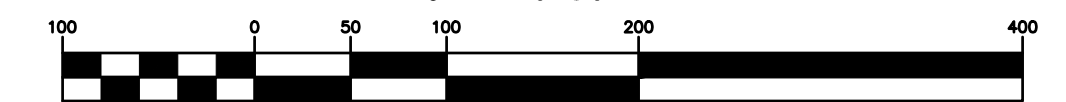
SEE SHEET C1.1



NORTH



GRAPHIC SCALE



(IN FEET)
1 inch = 100 feet