



# NOTICE of FILING

## LAND USE REQUEST AFFECTING THIS AREA

*There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.*

*Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.*

<b>CASE NUMBER:</b>	Class 3 Site Plan Review / Class 2 Adjustment / Class 2 Driveway Approach Permit Case No. SPR-ADJ-DAP24-22
<b>PROPERTY LOCATION:</b>	2200 Block of Front St NE, Salem OR 97301
<b>NOTICE MAILING DATE:</b>	June 17, 2024
<b>PROPOSAL SUMMARY:</b>	Development of a new 18-unit multi-family residential building. A separate 18-unit multi-family residential building is being considered on neighboring property under a separate application (23-110867-PLN).
<b>COMMENT PERIOD:</b>	<b>All written comments must be submitted to City Staff no later than 5:00 p.m., MONDAY, July 1, 2024. Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.</b>
<b>CASE MANAGER:</b>	<b>Aaron Panko, Planner III</b> , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2356; E-mail: <a href="mailto:Apanko@cityofsalem.net">Apanko@cityofsalem.net</a>
<b>NEIGHBORHOOD ASSOCIATION:</b>	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i>  Highland Neighborhood Association, Leigha Gaynair, Chair; Phone: 541-948-9312; Email: <a href="mailto:highland@salemneighbors.org">highland@salemneighbors.org</a> .
<b>ACCESS:</b>	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
<b>CRITERIA TO BE CONSIDERED:</b>	Salem Revised Code (SRC) Chapters 220.005(f)(3) – Class 3 Site Plan Review; 250.005(d)(2) – Class 2 Adjustment; 804.025(d) – Class 2 Driveway Approach Permit  Salem Revised Code (SRC) is available to view at this link: <a href="http://bit.ly/salemorcode">http://bit.ly/salemorcode</a> . Type in the chapter number(s) listed above to view the applicable criteria.

<b>PROPERTY OWNER(S):</b>	Riverfront Apartments, LLC (Tyrene Bielenberg, Terence Blackburn, Sean Blackburn)
<b>APPLICANT(S):</b>	Britany Randall, BRAND Land Use
<b>PROPOSAL REQUEST:</b>	<p>A Class 3 Site Plan Review for development of a new 18-unit multi-family residential building with associated off-street parking area, a Class 2 Driveway Approach Permit for one new driveway approach on Pine Street NE, and the following Class 2 Adjustments:</p> <ol style="list-style-type: none"> <li>1) To reduce the minimum ground floor window area requirement from 65% per SRC 536.015(g), Table 536-6, to approximately 35%; and</li> <li>2) To eliminate the building frontage requirement per SRC 536.015(d), Table 536-5, which requires a minimum of 50% of the building be placed at the setback line abutting Front Street NE, and a minimum of 40% of the building be placed at the setback line abutting Pine Street NE.</li> </ol> <p>The subject property is approximately 0.6 acres in size, zoned MU-R (Mixed Use-Riverfront), and located at the 2200 Block of Front Street NE – 97301 (Marion County Assessors map and tax lot number: 073W15DA / 05000).</p>
<b>APPLICATION PROCESS:</b>	<p>Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.</p> <p>Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p>
<b>MORE INFORMATION:</b>	All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at <a href="https://permits.cityofsalem.net">https://permits.cityofsalem.net</a> . You can use the search function without registering and enter the permit number listed here: 23 110871. Paper copies can be obtained for a reasonable cost.

**PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE**  
**For more information about Planning in Salem:**  
<http://www.cityofsalem.net/planning>

*It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.*

TTD/TTY telephone 503-588-6439 is also available 24/7

# REQUEST FOR COMMENTS

*Si necesita ayuda para comprender esta información, por favor llame 503-588-6173*

**REGARDING:** Class 3 Site Plan Review / Class 2 Adjustment / Class 2 Driveway Approach Permit Case No. SPR-ADJ-DAP24-22

**PROJECT ADDRESS:** 2200 Block of Front St NE, Salem OR 97301

**AMANDA Application No.:** 23-110871-PLN

**COMMENT PERIOD ENDS:** Monday, July 1, 2024, at 5:00 p.m.

**SUMMARY:** Development of a new 18-unit multi-family residential building. A separate 18-unit multi-family residential building is being considered on neighboring property under a separate application (23-110867-PLN).

**REQUEST:** A Class 3 Site Plan Review for development of a new 18-unit multi-family residential building with associated off-street parking area, a Class 2 Driveway Approach Permit for one new driveway approach on Pine Street NE, and the following Class 2 Adjustments:

- 1) To reduce the minimum ground floor window area requirement from 65% per SRC 536.015(g), Table 536-6, to approximately 35%; and
- 2) To eliminate the building frontage requirement per SRC 536.015(d), Table 536-5, which requires a minimum of 50% of the building be placed at the setback line abutting Front Street NE, and a minimum of 40% of the building be placed at the setback line abutting Pine Street NE.

The subject property is approximately 0.6 acres in size, zoned MU-R (Mixed Use-Riverfront), and located at the 2200 Block of Front Street NE 97301 (Marion County Assessor’s map and tax lot number: 073W15DA / 05000).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

**Comments received by 5:00 p.m., MONDAY, July 1, 2024,** will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.*

**CASE MANAGER:** Aaron Panko, Planner II, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2356; E-Mail: [Apanko@cityofsalem.net](mailto:Apanko@cityofsalem.net).

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

**PLEASE CHECK THE FOLLOWING THAT APPLY:**

- 1. I have reviewed the proposal and have no objections to it.
- 2. I have reviewed the proposal and have the following comments: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Name/Agency: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Email: \_\_\_\_\_  
 Date: \_\_\_\_\_

**IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM**



NO POSTAGE  
NECESSARY  
IF MAILED  
IN THE  
UNITED STATES

**BUSINESS REPLY MAIL**  
FIRST-CLASS MAIL PERMIT NO. 1508 SALEM, OR

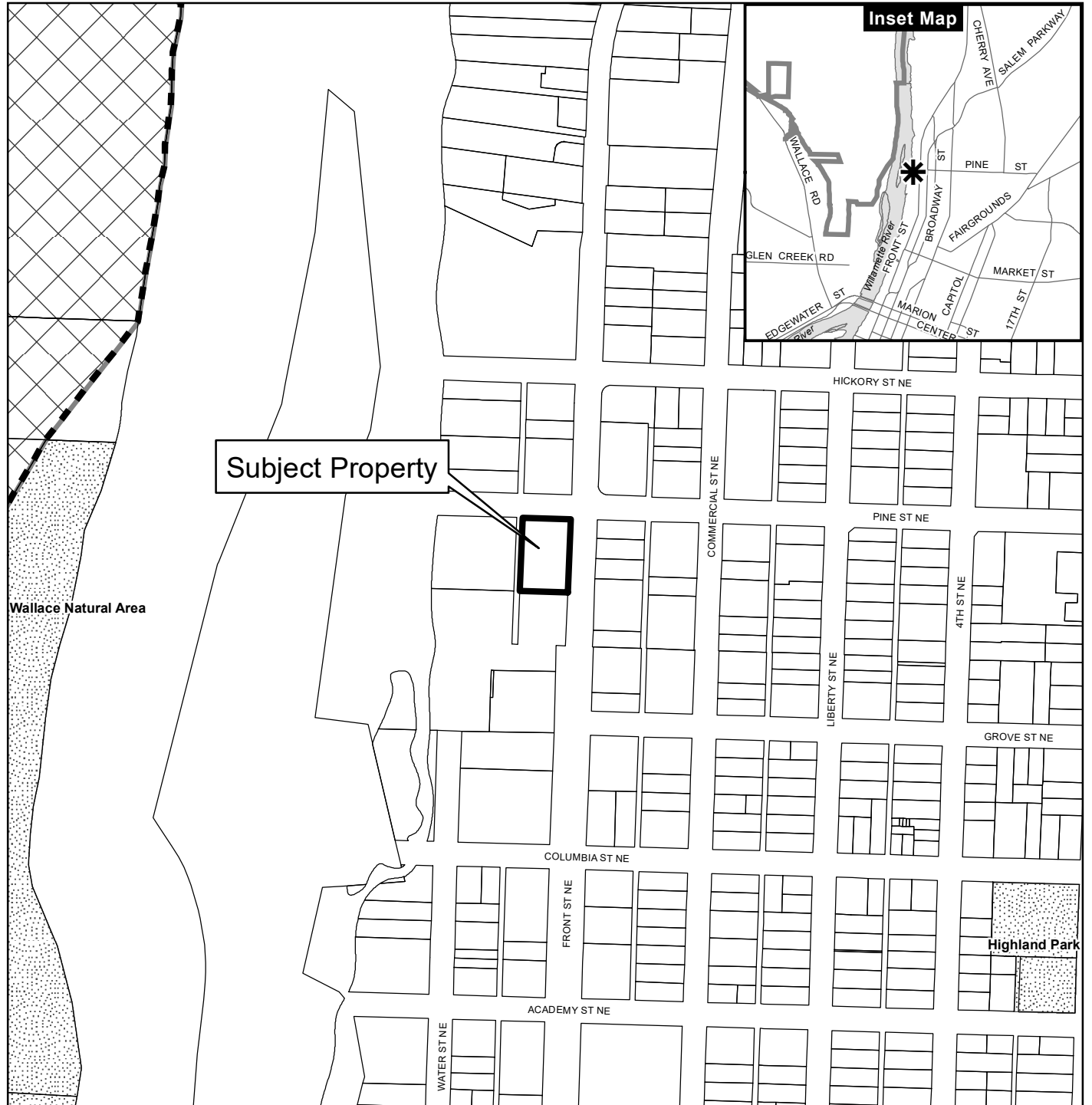
POSTAGE WILL BE PAID BY ADDRESSEE

PLANNING DIVISION  
CITY OF SALEM RM 305  
555 LIBERTY ST SE  
SALEM OR 97301-9907










# Vicinity Map

## 2200 Block of Front Street NE



### Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



0 100 200 400 Feet



This product is provided as is, without warranty. In no event is the City of Salem liable for damages from the use of this product. This product is subject to license and copyright limitations and further distribution or resale is prohibited.



IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN THE ORIGINAL SIGNED AND SEALED DOCUMENTS PREPARED BY THE ARCHITECTS AND/OR THEIR CONSULTANTS, AND ANY COPY OF THE DOCUMENTS TRANSMITTED BY MAIL, FAX, ELECTRONICALLY OR OTHERWISE, THE ORIGINAL SIGNED AND SEALED DOCUMENTS SHALL GOVERN.

PROJECT # 2019-200  
DATE: 06/24/2021

REVISIONS

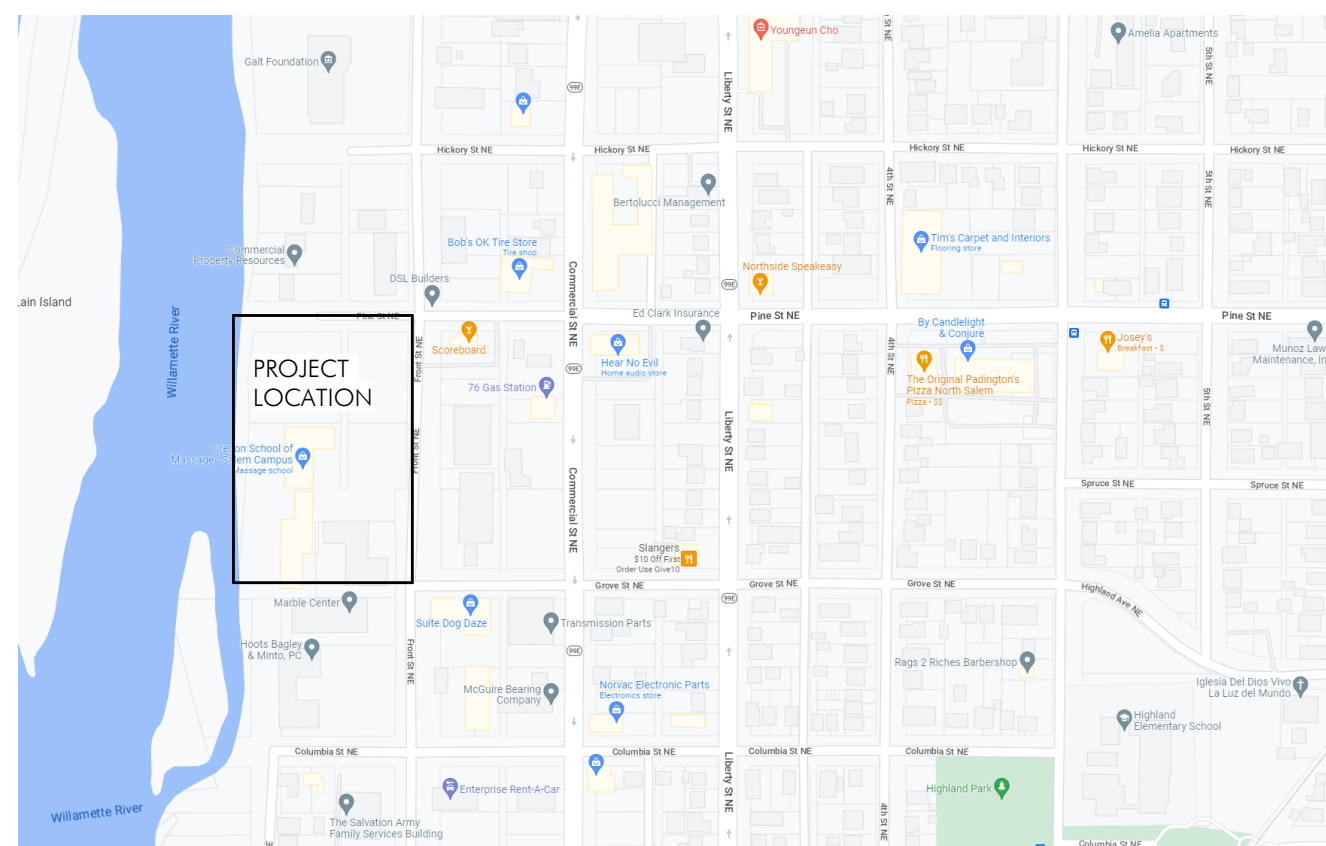
# PINE STREET

## NEW MULTIFAMILY DEVELOPMENT

### SUBMITTAL 1 OF 2 - BUILDING A

PINE ST, SALEM OREGON 97303

#### VICINITY MAP:



#### AERIAL PHOTO:



#### DRAWINGS LIST:

##### GENERAL DRAWINGS

G0.01 COVER SHEET  
G0.02 GENERAL NOTES  
G1.01A CODE REVIEW SITE  
G1.02A CODE REVIEW PLANS  
G2.01 ACCESSIBILITY REQUIREMENTS  
G2.02 ACCESSIBILITY REQUIREMENTS  
G2.03 ACCESSIBILITY REQUIREMENTS

##### ARCHITECTURAL

A0.21 VERTICAL ASSEMBLIES  
A0.22 HORIZONTAL ASSEMBLIES  
A1.01A SITE PLAN  
A1.02 SITE DETAILS  
A1.03 TRASH ENCLOSURE

##### ARCHITECTURAL

A1.21A BLDG A - LEVEL 01 - FLOOR PLAN  
A1.22A BLDG A - LEVEL 01 - FLOOR PLAN  
A1.23A BLDG A - LEVEL 02 - FLOOR PLAN  
A1.24A BLDG A - LEVEL 02 - FLOOR PLAN  
A1.25A BLDG A - LEVEL 03 - FLOOR PLAN  
A1.26A BLDG A - LEVEL 03 - FLOOR PLAN  
A1.27A BLDG A - ROOF PLAN  
A1.28A BLDG A - ROOF PLAN  
A1.31A BLDG A - LEVEL 01 - DIMENSION PLAN  
A1.32A BLDG A - LEVEL 01 - DIMENSION PLAN  
A1.33A BLDG A - LEVEL 02 - DIMENSION PLAN  
A1.34A BLDG A - LEVEL 02 - DIMENSION PLAN  
A1.35A BLDG A - LEVEL 03 - DIMENSION PLAN  
A1.36A BLDG A - LEVEL 03 - DIMENSION PLAN  
A1.61A BLDG A - LEVEL 01 - RCP  
A1.62A BLDG A - LEVEL 01 - RCP  
A1.63A BLDG A - LEVEL 02 - RCP  
A1.64A BLDG A - LEVEL 02 - RCP  
A1.65A BLDG A - LEVEL 03 - RCP  
A1.66A BLDG A - LEVEL 03 - RCP  
A2.01A BLDG A - ELEVATIONS  
A2.02A BLDG A - ELEVATIONS  
A2.03A BLDG A - ELEVATIONS  
A2.51 INTERIOR ELEVATIONS  
A2.52 INTERIOR ELEVATIONS  
A2.53 INTERIOR ELEVATIONS  
A3.01A BLDG A - SECTIONS  
A3.02A BLDG A - SECTIONS  
A4.11 DETAIL STAIR PLANS  
A4.12 DETAIL STAIR PLANS  
A4.52 STAIR DETAILS  
A5.11 WEATHER BARRIER DETAILS  
A5.21 FOUNDATION / WALL DETAILS  
A5.22 OPENING DETAILS  
A5.23 BALCONY DETAILS  
A5.24 ROOF DETAILS

A5.41 INTERIOR DETAILS  
A6.01 SCHEDULES

##### STRUCTURAL

S1.01 COVER SHEET

##### STRUCTURAL

3.S2.11 BLDG 03 - FOUNDATION PLAN  
3.S2.12 BLDG 03 - FOUNDATION PLAN  
3.S3.21 BLDG 03 - SECOND FLOOR FRAMING  
3.S3.22 BLDG 03 - SECOND FLOOR FRAMING  
3.S3.31 BLDG 03 - THIRD FLOOR FRAMING  
3.S3.32 BLDG 03 - THIRD FLOOR FRAMING  
3.S3.41 BLDG 03 - ROOF FRAMING PLAN  
3.S3.42 BLDG 03 - ROOF FRAMING PLAN  
4.S2.11 BLDG 04 - FOUNDATION PLAN  
4.S2.12 BLDG 04 - FOUNDATION PLAN  
4.S3.21 BLDG 04 - SECOND FLOOR FRAMING  
4.S3.22 BLDG 04 - SECOND FLOOR FRAMING  
4.S3.31 BLDG 04 - THIRD FLOOR FRAMING  
4.S3.32 BLDG 04 - THIRD FLOOR FRAMING  
4.S3.41 BLDG 04 - ROOF FRAMING PLAN  
4.S3.42 BLDG 04 - ROOF FRAMING PLAN

##### STRUCTURAL

S4.01 FOUNDATION DETAILS  
S5.01 FRAMING DETAILS  
S5.02 FRAMING DETAILS  
S5.03 STAIR DETAILS

#### PROJECT TEAM:

**OWNER:**  
K & A INVESTING, LLC.  
8740 SE Burch Hill Rd.  
Amity OR 97101

**ARCHITECT:**  
STUDIO 3 ARCHITECTURE, Inc.  
Gene Bolante, AIA  
275 Court Street St. NE  
Salem OR 97301  
P: 503.390.6500  
E: gene@studio3architecture.com  
W: www.studio3architecture.com

**CIVIL ENGINEER & SURVEYOR:**  
WESTTECH ENGINEERING  
Josh Wells, P.E.  
3841 Farview Industrial DR. SE #100  
Salem OR 97302  
P: 503.585.2474  
E: jwells@westtech-eng.com

**GEOTECHNICAL ENGINEER:**

**STRUCTURAL ENGINEER:**  
DAN GREEN ENGINEERING, Inc.  
Dan Green, P.E.  
3230 Triangle Dr. SE  
Salem, Oregon 97302  
P: 503-391-2309  
E: dangreen@wvi.com

**GENERAL CONTRACTOR**  
CLUTCH INDUSTRIES, INC.  
Chris Anderson  
360 Belmont St. NE  
Salem, OR 97301  
P: 503-932-3179  
E: chrisa@clutchindustries.com  
CCCB: 212444

NEW MULTIFAMILY DEVELOPMENT:

**PINE STREET - BLDG A**

PINE ST, SALEM OREGON 97303

SHEET:

**G0.01**

COVER SHEET

# PROJECT INFORMATION

PROJECT NAME: PINE STREET - BLDG A  
 ADDRESS: PINE ST  
 KEIZER, OREGON 97303  
 LOT SIZE: 26,041.23 SQ. FT. (0.6 ACRES)  
 ZONE: MULTI FAMILY  
 BUILDING TYPE: VB  
 OCCUPANCY: R-2  
 OCCUPANT LOAD: 30

# PROJECT NARRATIVE

PROJECT CONSISTS OF ONE (1) NEW THREE (3) STORIES, 18 UNITS, APARTMENT BUILDING, ON THE FIRST FLOOR (LEVEL 01), THERE WILL ALSO BE A BIKE PARKING AND DOG WASHING STATION.  
 BUILDING CONSISTS OF TWO (2) 2-BEDROOM UNIT AND FOUR (4) 1-BEDROOM UNIT ON EACH FLOOR.

# APPLICABLE BUILDING REGULATIONS

- 2019 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
- 2019 OREGON MECHANICAL SPECIALTY CODE (OMSC)
- 2017 OREGON PLUMBING SPECIALTY CODE (OPSC)
- 2017 OREGON ELECTRICAL SPECIALTY CODE (OESC)
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- ASHRAE 90.1
- 2019 OREGON FIRE CODE (OFC)
- ICC A117.1-2017 - ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

# FIRE RESISTANCE RATING

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (TABLE 601) CHAPTERS 6, 7

BUILDING ELEMENT	REQUIRED	PROPOSED
PRIMARY STRUCTURAL FRAME	0-HR	0-HR
BEARING WALLS	EXTERIOR 10' < X < 30 EXTERIOR X > 30	0-HR 0-HR
BEARING WALLS	EXTERIOR X < 10	1-HR 1-HR
NONBEARING WALLS AND PARTITIONS	INTERIOR	0-HR 0-HR
FLOOR CONSTRUCTION		0-HR 0-HR
ROOF CONSTRUCTION		0-HR 0-HR

FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (TABLE 602)

FIRE SEPARATION DISTANCE	NORTH	WEST	SOUTH	EAST
EXT WALL REQUIREMENTS	10'-0"	8'-1 1/2"	10'-0"	10'-1 1/2"
- TYPE VB	BEARING NON BEARING	PER TABLE 601 (SEE ABOVE)		
	0-HR 0-HR	0-HR 0-HR	0-HR 0-HR	0-HR 0-HR

NOTE: EAST, NORTH AND SOUTH DISTANCES ARE MEASURED TO PROPERTY LINE, WEST-A DISTANCE IS MEASURED TO PROPERTY LINE AND WEST-B TO CLOSEST EXISTING HOUSE ON SITE

MAXIMUM AREA OF EXTERIOR WALL OPENINGS (TABLE 705.8)

FIRE SEPARATION DISTANCE	NORTH	WEST	SOUTH	EAST
MAXIMUM AREA OF UNPROTECTED OPENINGS (BUILDING SPRINKLERED)	10'-0"	8'-1 1/2"	10'-0"	10'-1 1/2"
	45%	NOT REQUIRED	45%	45%

NOTE: EAST, NORTH AND SOUTH DISTANCES ARE MEASURED TO PROPERTY LINE, WEST-A DISTANCE IS MEASURED TO PROPERTY LINE AND WEST-B TO CLOSEST EXISTING HOUSE ON SITE

SECTION 705.5 FIRE-RESISTANCE RATINGS: EXTERIOR WALLS TO BE FIRE RATED PER TABLES 601 AND 602 (SEE ABOVE), WHERE FIRE SEPARATION IS > 10 FEET, RATING FOR EXPOSURE TO FIRE FROM INSIDE ONLY, WHERE FIRE SEPARATION DISTANCE IS EQUAL TO OR < 10, RATING FOR EXPOSURE TO FIRE FROM BOTH SIDES.

# ALLOWABLE AREA (BLDG A)

ALLOWABLE AREA PER FLOOR (TABLE 506.2): 21,000 CHAPTERS 5

A<sub>a</sub> = ALLOWABLE BUILDING AREA PER STORY (SQ. FT.) - [A<sub>i</sub> + (N<sub>s</sub> \* I<sub>f</sub>) \* S<sub>a</sub>  
 A<sub>i</sub> = TABULAR BUILDING AREA PER STORY, PER TABLE 506.2  
 N<sub>s</sub> = TABULAR BUILDING AREA PER STORY FOR NONSPRINKLERED BUILDING, PER TABLE 506.2  
 S<sub>a</sub> = ACTUAL NUMBER OF BUILDING STORIES ABOVE GRAD PLANE (NOT TO EXCEED 4)  
 I<sub>f</sub> = AREA INCREASE DUE TO FRONTAGE, PER 506.3.3 - [F/P - 0.25] \* W/30  
 I<sub>s</sub> = AREA INCREASE DUE TO SPRINKLER, PER 506.3  
 F = BUILDING PERIMETER WHICH FRONTS ON A PUBLIC WAY OR OPEN SPACE HAVING 20 FT. OPEN WIDTH  
 P = PERIMETER OF ENTIRE BUILDING  
 W = WIDTH OF PUBLIC WAY OR OPEN SPACE PER 506.3.2 (MIN. 20 FT., MAX. 30 FT.)

CONSTRUCTION TYPE: VB  
 A<sub>i</sub> = 7,000 (BASED ON R-2 OCCUPANCY)  
 N<sub>s</sub> = 7,000 (BASED ON R-2 OCCUPANCY)  
 I<sub>f</sub> = [F/P - 0.25] \* W/30  
 [399/438 - 0.25] \* 26/30  
 [0.91 - 0.25] \* 0.87  
 0.66 \* 0.87  
 0.57  
 S<sub>a</sub> = 3  
 F = 399  
 P = 438  
 W = 26

ALLOWABLE AREA PER FLOOR  
 A<sub>a</sub> = [7,000 + (7,000 \* I<sub>f</sub>)  
 [7,000 + 3,990]  
 10,990 SQ. FT.

MAXIMUM ALLOWABLE AREA PER BUILDING  
 MAX A<sub>a</sub> = A<sub>a</sub> \* S<sub>a</sub>  
 10,990 \* 3  
 32,970 SQ. FT.

PROPOSED BUILDING AREAS:  
 LEVEL 01 = 4,874 SQ. FT. < 10,990 SQ. FT. PERMITTED  
 LEVEL 02 = 4,537 SQ. FT. < 10,990 SQ. FT. PERMITTED  
 LEVEL 03 = 4,537 SQ. FT. < 10,990 SQ. FT. PERMITTED

BUILDING AREA = 13,948 SQ. FT. < 32,970 SQ. FT. PERMITTED

# MEANS OF EGRESS

CEILING HEIGHTS (1003.2) CHAPTER 10

CEILING HEIGHTS SHALL BE 7'-6" MINIMUM PER SECTION 1003.2, WITH EXCEPTIONS AS NOTED: WHERE EXCEPTED IN SECTION 1208.2 FOR DWELLING UNITS AND SLOPED CEILING, STAIRS AND RAMPS AT 6'-8" PER SECTIONS 1011.3 AND 1012.5.2; DOORS AT 6'-8" PER SECTION 1010.1.1

EGRESS WIDTH PER OCCUPANT SERVED (1005.3)

STAIRWAYS: MIN. WIDTH OF 36" PER 1011.2 EXCEPTION 1  
 OTHER EGRESS COMPONENTS: 0.2 / OCC

NUMBER OF EXITS (1006)

ONE (1) EXIT REQUIRED PER 1006.2.1  
 R-2 OCCUPANCIES COMMON PATH: 125 FT.

MEANS OF EGRESS ILLUMINATION (1008)

EGRESS LIGHTING NOT REQUIRED IN UNITS PER PER 1008.2 EXCEPTION 3  
 EMERGENCY EGRESS LIGHTING REQUIRED PER 1006.3  
 PERFORMANCE REQUIREMENTS: AN AVERAGE OF 1 fc AND A MINIMUM AT ANY POINT OF 0.1 fc MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 fc AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 fc AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.

ACCESSIBLE MEANS OF EGRESS (1009)

48" WIDTH BETWEEN HANDRAILS NOT REQUIRED PER 1009.3.2, EXCEPTION 1  
 AREA OF REFUGE NOT REQUIRED PER 1009.3.3, EXCEPTION 2

ILLUMINATED EXIT SIGNS (1013)

EXIT SIGNS ARE NOT REQUIRED IN INDIVIDUAL DWELLING UNITS IN GROUPS R-2 PER 1013.1, EXCEPTION 3

EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2)

R-2 OCCUPANCIES: 250 FT. 250 FT.

MINIMUM CORRIDOR WIDTH (1020.2)

LOCATION	WIDTH
WITHIN A DWELLING UNIT	36 INCHES
ALL OTHER LOCATIONS	44 INCHES

EXTERIOR EXIT STAIRWAYS (1027)

EXTERIOR EXIT STAIRWAYS SHALL BE PERMITTED AS AN ELEMENT OF REQUIRED MEANS OF EGRESS FOR BUILDINGS NOT EXCEEDING SIX (6) STORIES ABOVE GRADE PLANE PER 1027.2  
 EXTERIOR EXIT STAIRWAYS SHALL BE OPEN ON NOT LESS THAN ONE SIDE PER 1027.3  
 EXTERIOR EXIT STAIRWAYS SHALL BE SEPARATED FROM THE INTERIOR OF THE BUILDING AS REQUIRED PER 1027.4; EXIT STAIRWAYS SHALL BE CONSTRUCTED AS FIRE BARRIERS IN ACCORDANCE WITH SECTION 707 AND SHALL NOT HAVE A FIRE-RESISTANCE RATING OF LESS THAN 1 HOUR WHERE CONNECTING LESS THAN FOUR (4) STORIES

# BUILDING HEIGHT

CONSTRUCTION TYPE: VB, GROUP R-2 CHAPTERS 5

	ALLOWABLE	PROPOSED
BUILDING HEIGHT (TABLE 504.3)	60'	40' 1"
NUMBER OF STORIES (TABLE 504.4)	3 STORIES	3 STORIES

# INTERIOR ENVIRONMENT

VENTILATION OF OCCUPIED ROOMS (1202): CHAPTER 12

NATURAL VENTILATION PROVIDED PER 1202.5 OR MECHANICAL VENTILATION IN ACCORDANCE WITH THE MECHANICAL CODE

LIGHTING OF HUMAN OCCUPIED SPACES (1204):

NATURAL LIGHT (1204.2): THE MINIMUM NET GLAZED AREA SHALL BE NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF THE ROOM SERVED.  
 ARTIFICIAL LIGHT (1204.3): ARTIFICIAL LIGHT SHALL BE PROVIDED THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10 fc OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL

STAIRWAY ILLUMINATION (1204.4): EXTERIOR STAIRWAYS SERVING A DWELLING UNIT SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOTCANDLE (1 LUX)

BOUNDARY TRANSMISSION BETWEEN DWELLING UNITS AND ADJACENT PUBLIC SPACES OR DWELLING UNITS (1206):  
 INTERIOR FLOOR / CEILING: MIN. STC 50, MIN. IIC 50  
 INTERIOR WALL: MIN. STC 50

# VEHICLE / BIKE PARKING

PARKING:

- MULTI-FAMILY USE: 1 SPACE PER 1 BEDROOM UNIT + 1.5 SPACE PER 2 OR MORE BEDROOMS UNIT + 1 ADDITIONAL SPACE FOR EVERY 10 UNITS = 1x12 + 1.5x6 + 1 = 22 SPACES (31 PROVIDED)

BIKES PARKING:

- 1 REQUIRED BICYCLE PARKING & ADDITIONAL PARKING SHALL BE CALCULATED AT FIVE PERCENT OF THE AMOUNT OF THE AUTOMOBILE PARKING. 2.5 SPACES. (4 PROVIDED)

# ENERGY EFFICIENCY

2021 INTERNATIONAL ENERGY CONSERVATION CODE (TABLE C402.1.3)

ROOF: R-49  
 WALL: R-23  
 SLAB ON GRADE: R-20 FOR 24" BELOW  
 FRAMED FLOOR: R-30

# DEFERRED SUBMITTALS

SEPARATE PERMITS:

- TRUSSES SYSTEM
- FIRE ALARM
- FIRE SPRINKLER

# ACCESSIBILITY

PER 1107.6.2.2.1, WHEN THERE ARE MORE THAN FOUR (4), BUT LESS THAN TWENTY (20), DWELLING UNITS, EVERY DWELLING UNIT INTENDED TO BE OCCUPIED AS A RESIDENCE SHALL BE A TYPE B UNIT

# SEPARATE PERMITS

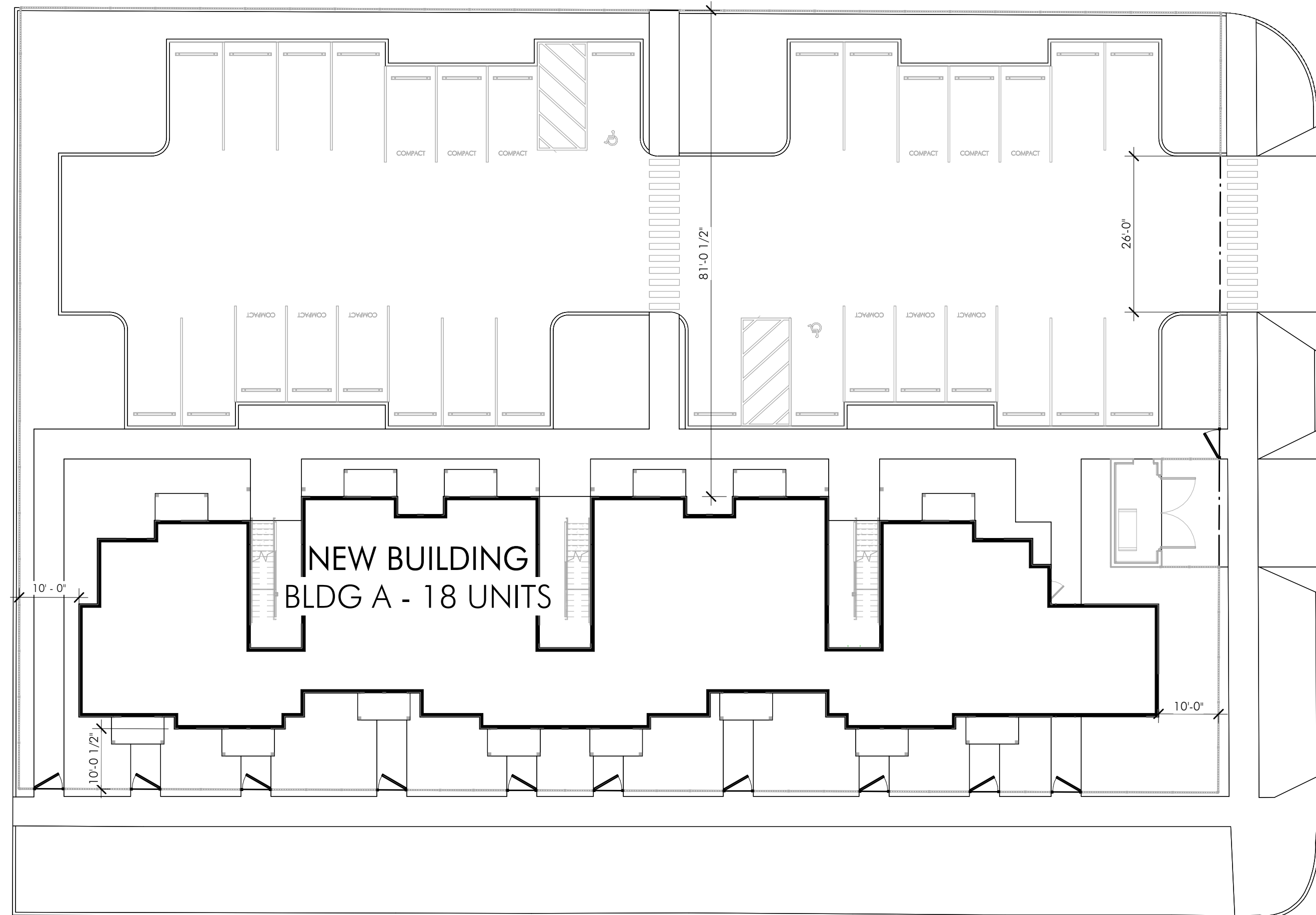
- ELECTRICAL
- PLUMBING

# REQUIRED LIFE SAFETY SYSTEMS

CHAPTERS 9

	REQUIRED	TYPE / CLASS
AUTOMATIC SPRINKLER SYSTEM	YES, PER 903.2.8	NFPA 13R
STANDPIPE SYSTEM	NO, PER 905.3	
FIRE EXTINGUISHERS	**YES, PER PFC 906.1	NFPA 10
FIRE ALARM SYSTEM	**YES, PER 907.2.9.1	NFPA 72
SMOKE DETECTION SYSTEM	YES, PER 907.2.10.2	
CARBON DETECTION SYSTEM	YES, PER 915.1.2	NFPA 720

\* PER 906.1 EXCEPTION 1, PORTABLE FIRE EXTINGUISHERS SHALL BE REQUIRED ONLY IN LOCATIONS SPECIFIED IN ITEMS 2 THROUGH 6 WHEN EACH DWELLING UNIT IS PROVIDED WITH A PORTABLE FIRE EXTINGUISHER HAVING A MIN RATING OF 1-A; 10-B-C  
 \*\* PER 907.2.9.1 EXCEPTION 2, A MANUAL FIRE ALARM BOX IS NOT REQUIRED

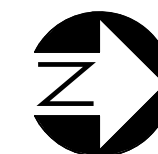


FRONT ST

PINE ST

1 CODE REVIEW - SITE

0' 4' 8' 16' 24' 48' 1/16" = 1'-0"



STUDIO



ARCHITECTURE INCORPORATED

275 COURT ST, NE  
 SALEM, OR 97301-3442  
 P: 503.390.6500  
 www.studio3architecture.com

IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN THE ORIGINAL SIGNED AND SEALED DOCUMENTS PREPARED BY THE ARCHITECTS AND/OR THEIR CONSULTANTS, AND ANY COPY OF THE DOCUMENTS TRANSMITTED BY MAIL, FAX, ELECTRONICALLY OR OTHERWISE, THE ORIGINAL SIGNED AND SEALED DOCUMENTS SHALL GOVERN.

PROJECT # 2019-200  
 DATE: 06/24/2021  
 REVISIONS

NEW MULTIFAMILY DEVELOPMENT:  
**PINE STREET - BLDG A**  
 PINE ST, SALEM OREGON 97303

SHEET:

G1.01A

SITE PLAN GENERAL NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- REFER TO CIVIL DRAWINGS FOR GRADING. SITE IS REQUIRED TO MEET THE LAWS OF FHA AND ADA. ACCESSIBLE ROUTES SHALL NOT EXCEED 5% (1 IN 20) OR CROSS SLOPES SHALL NOT EXCEED 2% (1 IN 50). ALL AT GRADE SIDEWALKS ARE ACCESSIBLE ROUTES.
- JOINTS IN CONCRETE WALKS NOTED AS E.J. ARE TO BE CONSTRUCTED AS EXPANSION JOINTS. ALL OTHER JOINTS SHOWN, TO BE TOOLED CONTROL JOINTS, SEE CIVIL.
- PROVIDE CONSTRUCTION FENCING AS REQUIRED TO SECURE SITE AND BUILDING DURING CONSTRUCTION.
- SEE LANDSCAPE DRAWINGS FOR LANDSCAPE AND IRRIGATION ELEMENTS.
- EXTREME CARE SHOULD BE TAKEN TO PRESERVE EXISTING ROOTS OF TREES TO REMAIN.
- SEE ELECTRICAL DRAWINGS FOR SITE LIGHTING.

SITE PLAN SUMMARY

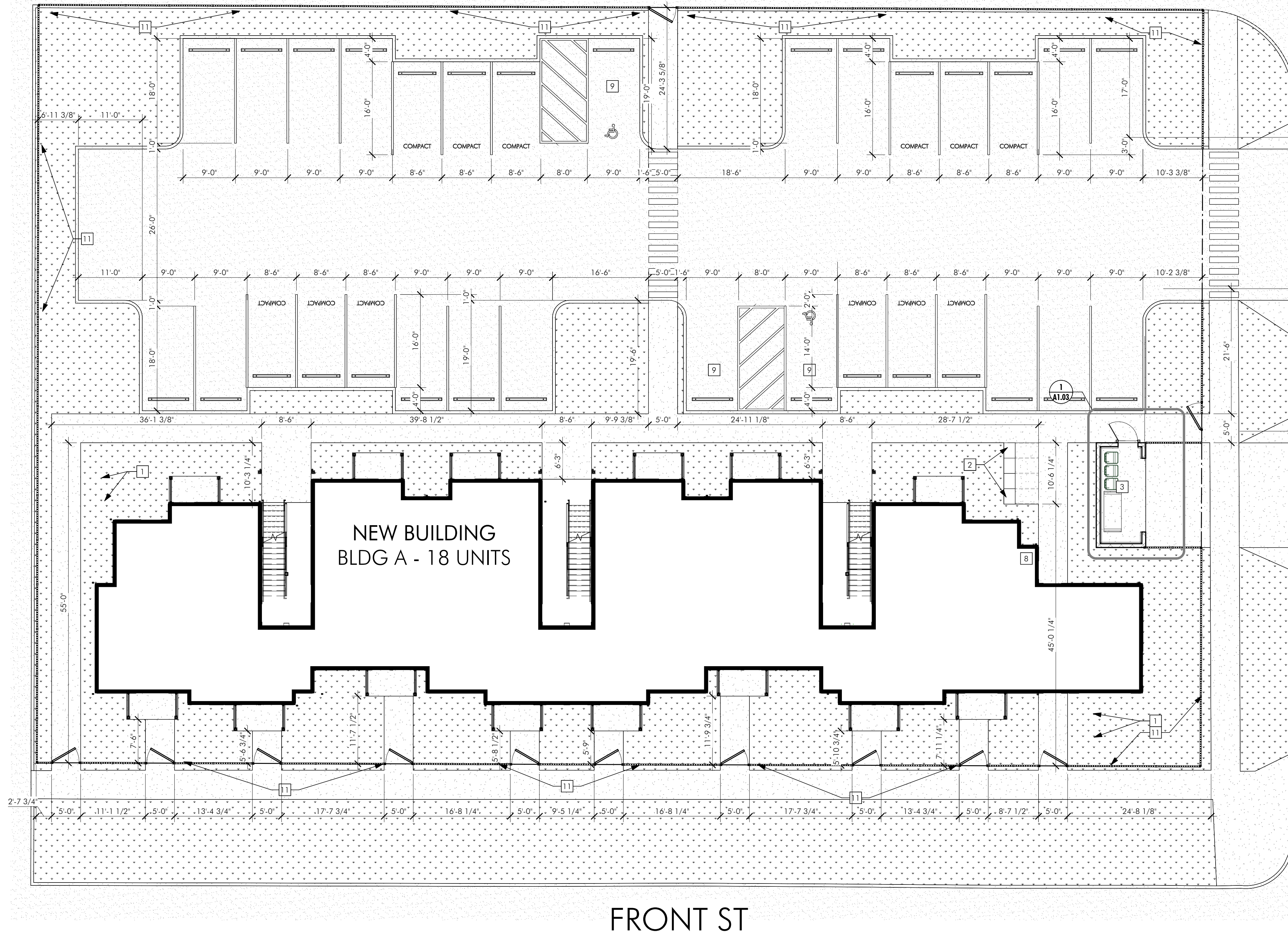
PARCEL ZONE:	MU-R MIXED USE - RIVERFRONT
SITE AREA:	26,041.23 SF (100%)
BUILDING A FOOTPRINT:	4,874.37 SF (18.72%)
CONCRETE PADS / PATIOS:	557.76 SF (2.14%)
CONCRETE SIDEWALKS:	2,454.99 SF (9.43%)
<b>TOTAL IMPERVIOUS AREA:</b>	<b>19,319.73 SF (74.19%)</b>
LANDSCAPED AREA:	6,721.50 SF (25.81%)

SITE PLAN LEGEND:

- LANDSCAPING
- CONCRETE PADS / PATIOS / SIDEWALK
- ASPHALT

SITE PLAN KEYNOTES:

- 1 SHORT TERM BIKE STORAGE, SEE DETAIL 1/A1.02
- 2 PEDESTAL MOUNT MAILBOX CLUSTER. SIZED FOR 13 UNITS. VERIFY SIZE
- 3 NEW TRASH ENCLOSURE, SEE A1.03
- 4 LINE OF ROOF ABOVE
- 5 EXISTING STAIRS
- 6 FIRE VAULT AND FDC
- 7 4" Ø PERFORATED FOOTING DRAIN SURROUNDED BY DRAIN ROCK AROUND ENTIRE PERIMETER OF BUILDING
- 8 RISER ROOM
- 9 PROVIDE ACCESSIBLE PARKING SIGN, TYP. SEE 6/A1.02



1 SITE PLAN  
0' 4' 8' 12' 16' 24' 32' 3/32" = 1'-0"

IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN THE ORIGINAL SIGNED AND SEALED DOCUMENTS PREPARED BY THE ARCHITECTS AND/OR THEIR CONSULTANTS, AND ANY COPY OF THE DOCUMENTS TRANSMITTED BY MAIL, FAX, ELECTRONICALLY OR OTHERWISE, THE ORIGINAL SIGNED AND SEALED DOCUMENTS SHALL GOVERN.

PROJECT # 2019-200  
DATE: 06/24/2021  
REVISIONS

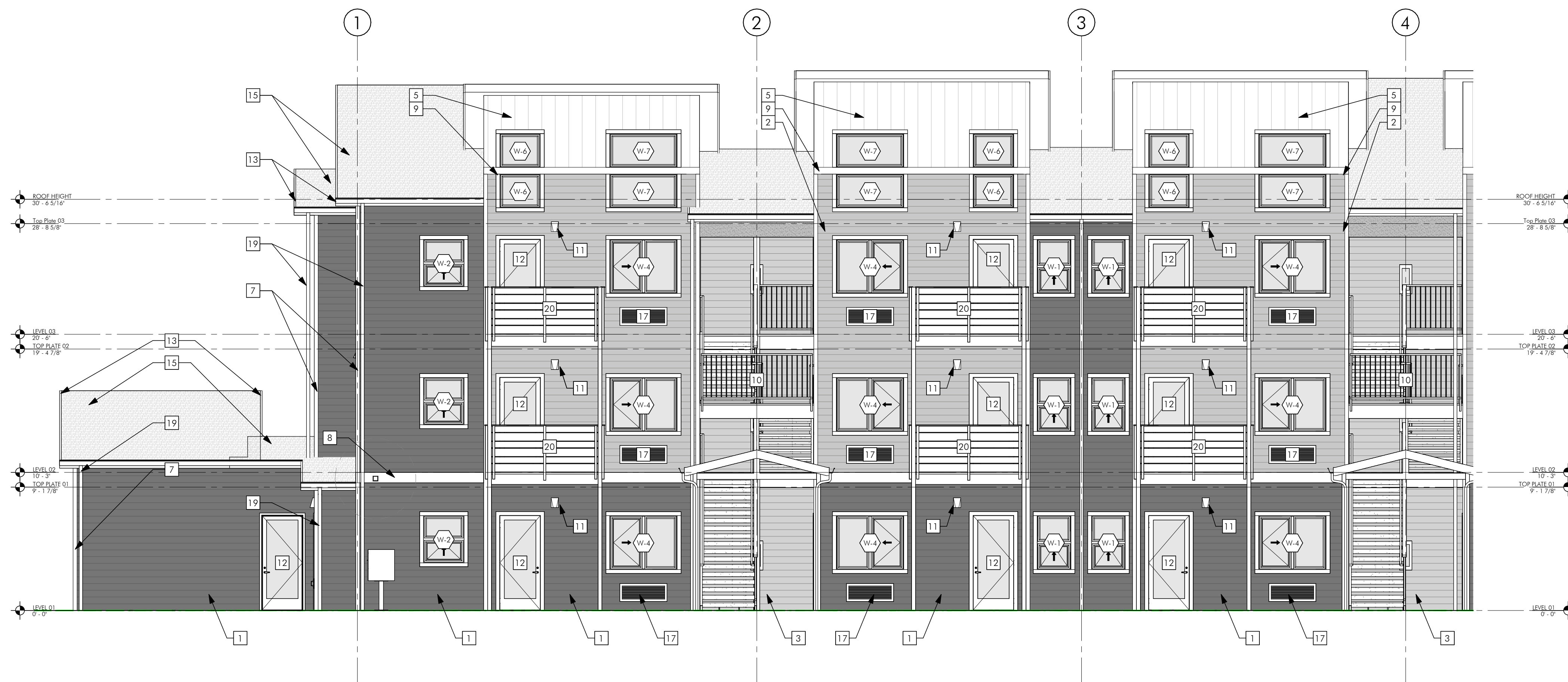
NEW MULTIFAMILY DEVELOPMENT:  
**PINE STREET - BLDG A**  
PINE ST, SALEM OREGON 97303

SHEET:  
**A1.01A**



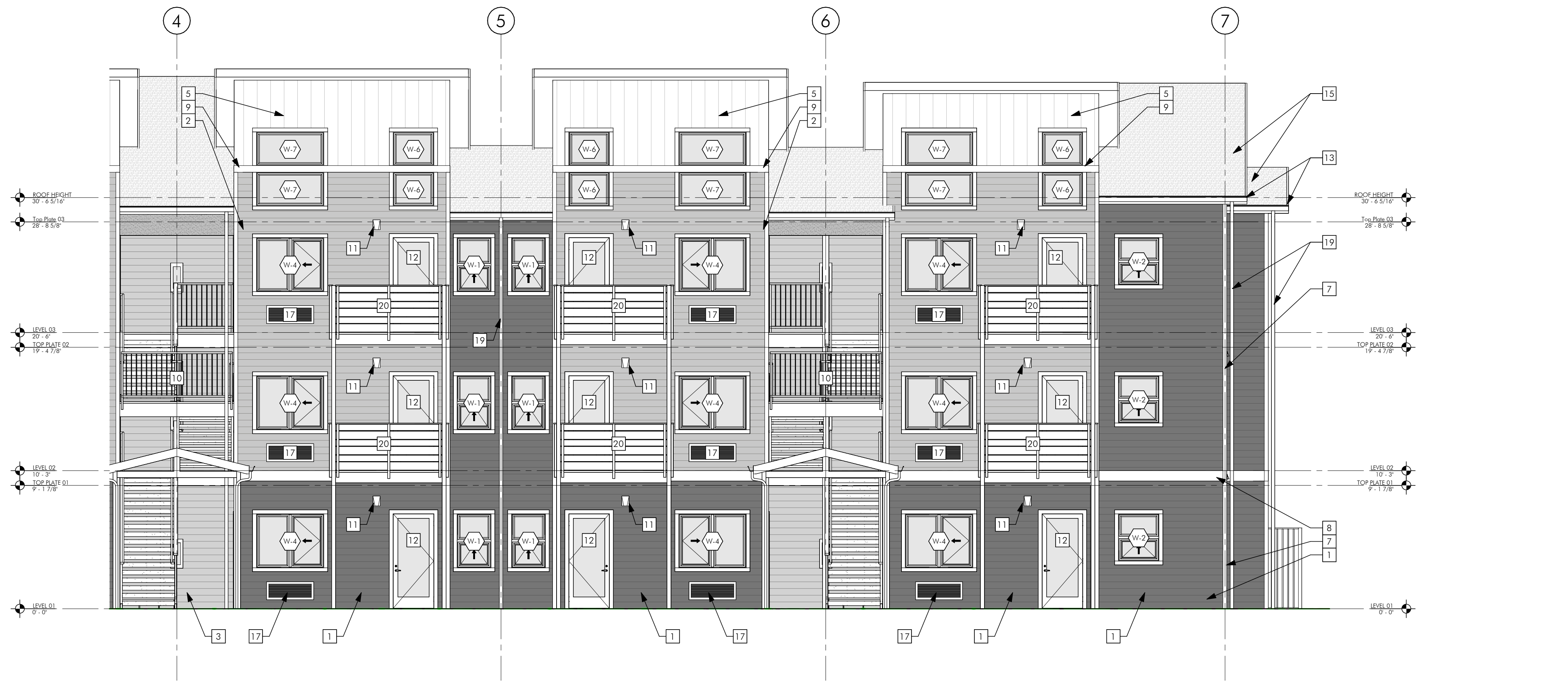
ELEVATION KEYNOTES:

- 1 HORIZONTAL LAPPED FIBER CEMENT SIDING, 6' EXPOSURE, COLOR: PEPPERCORN, SW7674
- 2 HORIZONTAL LAPPED FIBER CEMENT SIDING, 6' EXPOSURE, COLOR: CLASSIC FRENCH GRAY, SW0077
- 3 HORIZONTAL LAPPED FIBER CEMENT SIDING, 6' EXPOSURE, COLOR: ACCENT COLOR, TBD
- 4 VERTICAL FIBER CEMENT BOARD & BATT SIDING, COLOR: ACCENT COLOR, TBD
- 5 VERTICAL FIBER CEMENT BOARD & BATT SIDING, COLOR: EXTRA WHITE, SW7006
- 6 FIBER CEMENT PANEL SIDING, COLOR: PEPPERCORN, SW7674
- 7 3 1/2" TRIM BOARD AT ALL EXTERIOR CORNERS AND AROUND ALL OPENINGS, COLOR: BLACK MAGIC, SW6991
- 8 9 1/4" TRIM BOARD, COLOR: BLACK MAGIC, SW6991
- 9 6" TRIM BOARD, COLOR: BLACK MAGIC, SW6991
- 10 STAIR LANDING GAUDDRAIL,
- 11 WALL PACK LIGHT. SEE LIGHT SCHEDULE ON A6.01
- 12 FIBERGLASS CLAD ENTRY OR PATIO DOOR, PAINTED, COLOR: ACCENT COLOR, TBD
- 13 1x8 WOOD FASCIA BOARD, PAINTED, COLOR: BLACK MAGIC, SW6991
- 14 DOOR TO RISER ROOM, PROVIDE EXTERIOR SIGNAGE MOUNTED ADJACENT TO DOOR
- 15 COMPOSITION SHINGLE ROOFING
- 16 STOREFRONT WINDOWS ON COMMERCIAL LEVEL. 9'-0" IN WIDTH, 8'-0" IN HEIGHT, TYP.
- 17 PTH UNIT, SEE MECHANICAL
- 18 FDC LOCATION W/ SIGNAGE
- 19 PREFINISHED METAL DOWNSPOUT
- 20 WOOD BALCONY.



1 BLDG A - ELEVATION - 1A

0 2 4 6 8 10 12 14 16 3/16" = 1'-0"



2 BLDG A - ELEVATION - 1B

0 2 4 6 8 10 12 14 16 3/16" = 1'-0"

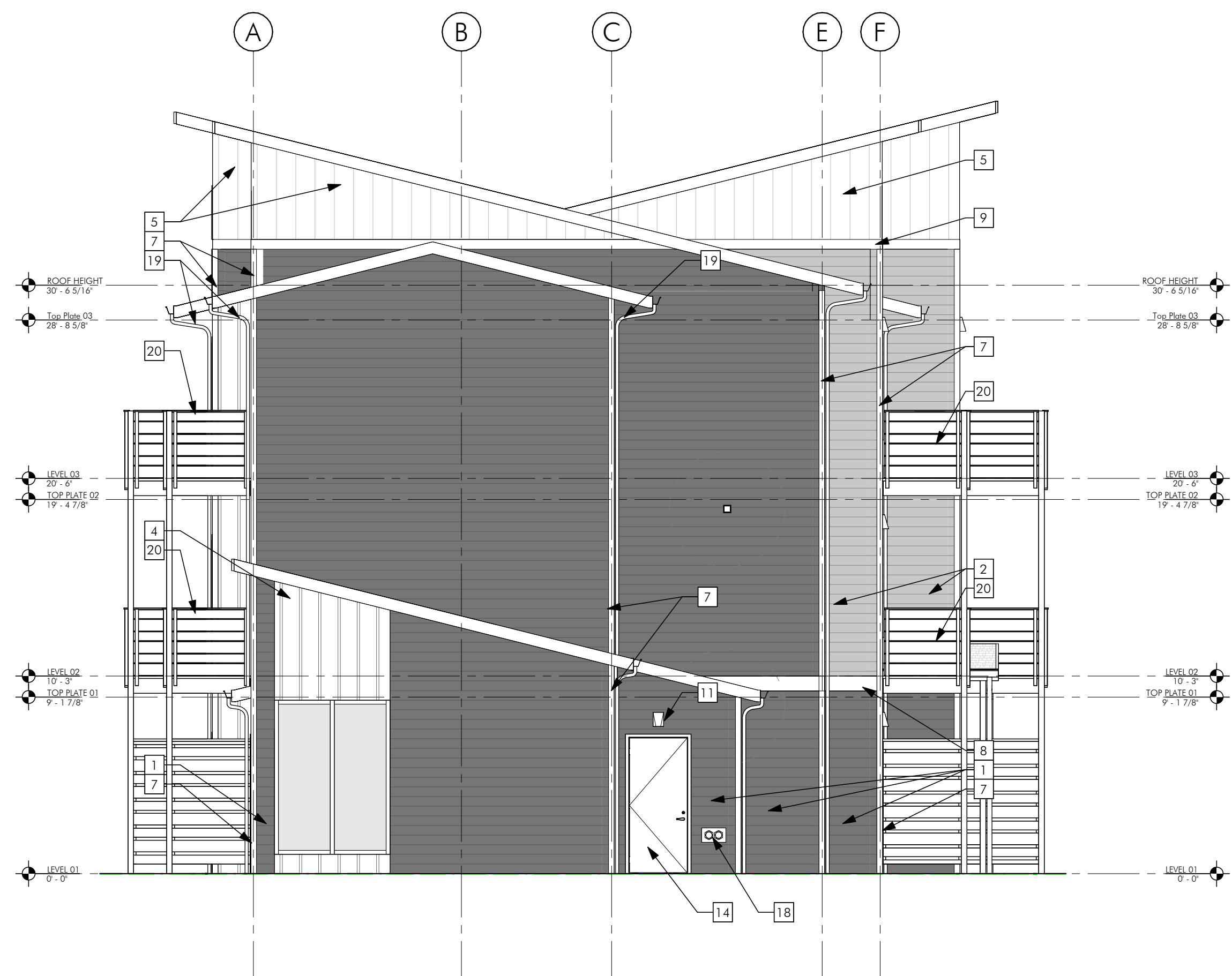
NEW MULTIFAMILY DEVELOPMENT:  
**PINE STREET - BLDG A**  
PINE ST, SALEM OREGON 97303

SHEET:

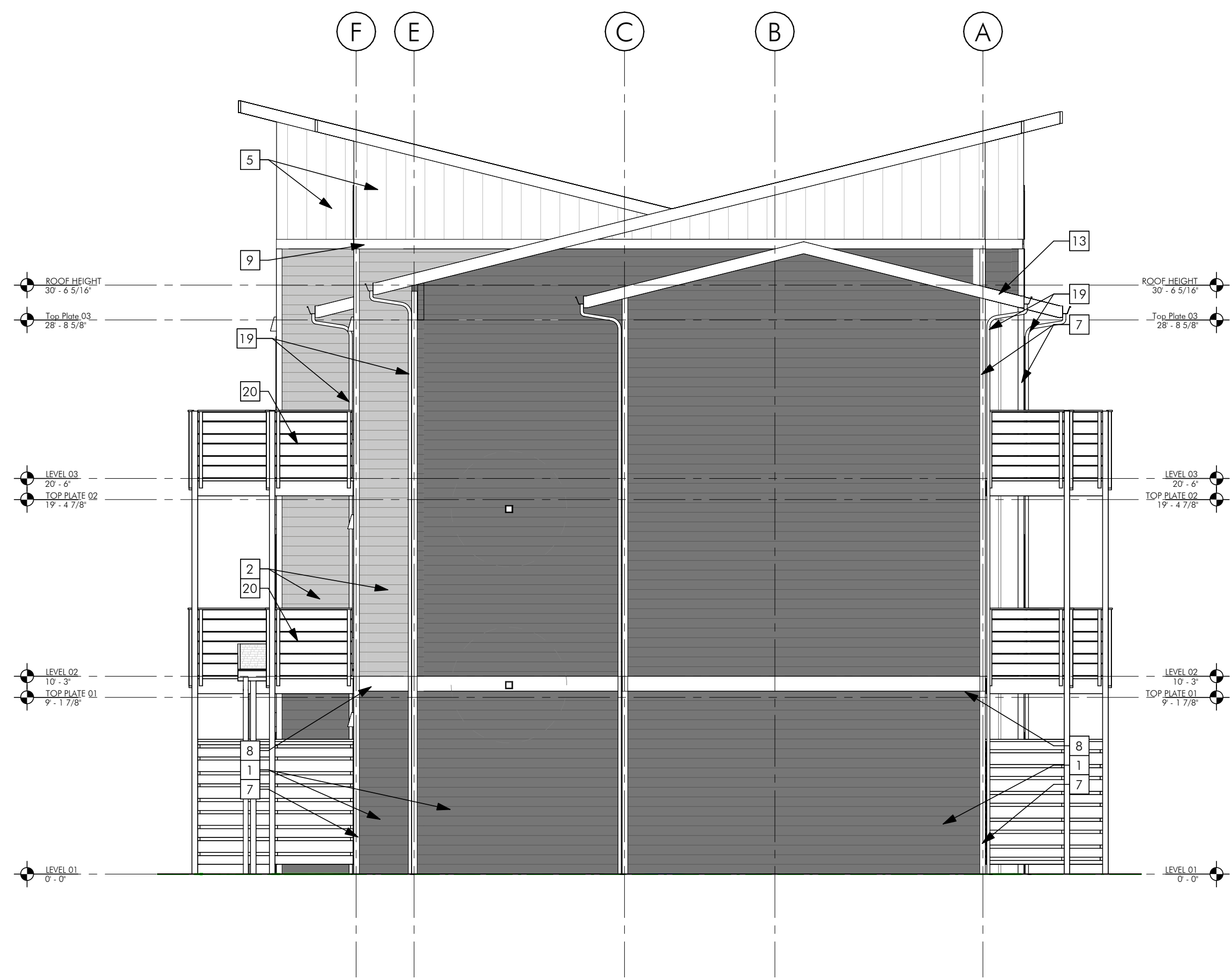
**A2.01A**

**ELEVATION KEYNOTES:**

- 1 HORIZONTAL LAPPED FIBER CEMENT SIDING, 6' EXPOSURE, COLOR: PEPPERCORN, SW7674
- 2 HORIZONTAL LAPPED FIBER CEMENT SIDING, 6' EXPOSURE, COLOR: CLASSIC FRENCH GRAY, SW0077
- 3 HORIZONTAL LAPPED FIBER CEMENT SIDING, 6' EXPOSURE, COLOR: ACCENT COLOR, TBD
- 4 VERTICAL FIBER CEMENT BOARD & BATT SIDING, COLOR: ACCENT COLOR, TBD
- 5 VERTICAL FIBER CEMENT BOARD & BATT SIDING, COLOR: EXTRA WHITE, SW7006
- 6 FIBER CEMENT PANEL SIDING, COLOR: PEPPERCORN, SW7674
- 7 3 1/2" TRIM BOARD AT ALL EXTERIOR CORNERS AND AROUND ALL OPENINGS, COLOR: BLACK MAGIC, SW6991
- 8 9 1/4" TRIM BOARD, COLOR: BLACK MAGIC, SW6991
- 9 6" TRIM BOARD, COLOR: BLACK MAGIC, SW6991
- 10 STAIR LANDING GAUDDRAIL,
- 11 WALL PACK LIGHT. SEE LIGHT SCHEDULE ON A6.01
- 12 FIBERGLASS CLAD ENTRY OR PATIO DOOR, PAINTED, COLOR: ACCENT COLOR, TBD
- 13 1x8 WOOD FASCIA BOARD, PAINTED, COLOR: BLACK MAGIC, SW6991
- 14 DOOR TO RISER ROOM, PROVIDE EXTERIOR SIGNAGE MOUNTED ADJACENT TO DOOR
- 15 COMPOSITION SHINGLE ROOFING
- 16 STOREFRONT WINDOWS ON COMMERCIAL LEVEL. 9'-0" IN WIDTH, 8'-0" IN HEIGHT, TYP.
- 17 PTHP UNIT, SEE MECHANICAL
- 18 FDC LOCATION W/ SIGNAGE
- 19 PREFINISHED METAL DOWNSPOUT
- 20 WOOD BALCONY.



**1** BLDG A - ELEVATION - 2  
0' 2' 4' 6' 8' 10' 16' 3/16" = 1'-0"



**2** BLDG A - ELEVATION - 3  
0' 2' 4' 6' 8' 10' 16' 3/16" = 1'-0"

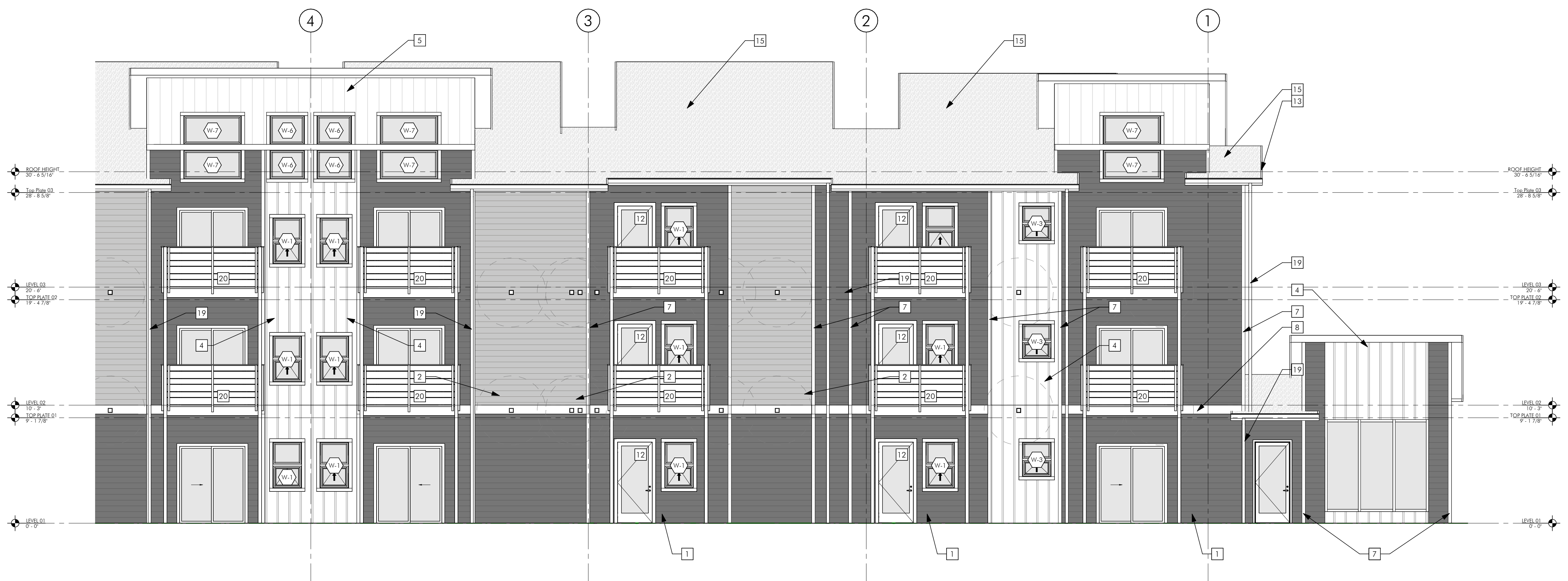
NEW MULTIFAMILY DEVELOPMENT:  
**PINE STREET - BLDG A**  
PINE ST, SALEM OREGON 97303

ELEVATION KEYNOTES:

- 1 HORIZONTAL LAPPED FIBER CEMENT SIDING, 6' EXPOSURE, COLOR: PEPPERCORN, SW7674
- 2 HORIZONTAL LAPPED FIBER CEMENT SIDING, 6' EXPOSURE, COLOR: CLASSIC FRENCH GRAY, SW0077
- 3 HORIZONTAL LAPPED FIBER CEMENT SIDING, 6' EXPOSURE, COLOR: ACCENT COLOR, TBD
- 4 VERTICAL FIBER CEMENT BOARD & BATT SIDING, COLOR: ACCENT COLOR, TBD
- 5 VERTICAL FIBER CEMENT BOARD & BATT SIDING, COLOR: EXTRA WHITE, SW7006
- 6 FIBER CEMENT PANEL SIDING, COLOR: PEPPERCORN, SW7674
- 7 3 1/2" TRIM BOARD AT ALL EXTERIOR CORNERS AND AROUND ALL OPENINGS, COLOR: BLACK MAGIC, SW6991
- 8 9 1/4" TRIM BOARD, COLOR: BLACK MAGIC, SW6991
- 9 6" TRIM BOARD, COLOR: BLACK MAGIC, SW6991
- 10 STAIR LANDING GAUDDRAIL
- 11 WALL PACK LIGHT. SEE LIGHT SCHEDULE ON A6.01
- 12 FIBERGLASS CLAD ENTRY OR PATIO DOOR, PAINTED, COLOR: ACCENT COLOR, TBD
- 13 1x8 WOOD FASCIA BOARD, PAINTED, COLOR: BLACK MAGIC, SW6991
- 14 DOOR TO RISER ROOM, PROVIDE EXTERIOR SIGNAGE MOUNTED ADJACENT TO DOOR
- 15 COMPOSITION SHINGLE ROOFING
- 16 STOREFRONT WINDOWS ON COMMERCIAL LEVEL. 9'-0" IN WIDTH, 8'-0" IN HEIGHT, TYP.
- 17 PTHP UNIT, SEE MECHANICAL
- 18 FDC LOCATION W/ SIGNAGE
- 19 PREFINISHED METAL DOWNSPOUT
- 20 WOOD BALCONY.



**1** BLDG A - ELEVATION - 4A  
0 2 4 6 8 10 16 3/16" = 1'-0"



**2** BLDG A - ELEVATION - 4B  
0 2 4 6 8 10 16 3/16" = 1'-0"

NEW MULTIFAMILY DEVELOPMENT:  
**PINE STREET - BLDG A**  
PINE ST, SALEM OREGON 97303