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ADMINISTRATIVE DECISION – MINOR HISTORIC REVIEW

CASE NO.: Historic Review Case HIS17-15 / AMANDA No. 16-107840-DR

NOTICE OF DECISION DATE: April 27, 2017

SUMMARY: A proposal to restore the existing Deepwood Springhouse Gazebo.

REQUEST: Minor historic design review of a proposal to restore the Deepwood Springhouse Gazebo (1894), a contributing feature on the grounds of Deepwood Estates, individually listed on the National Register, and a contributing resource within the Gaiety Hill/Bush's Pasture Park National Register Historic District, on property within the PA (Public Amusement) District, and located at 1116 Mission Street SE (Marion County Assessors Map and Tax Lot number: 073W27DD00100).

OWNER/ APPLICANT: Christina Vinson, for the City of Salem

LOCATION: 1116 Mission Street SE, 97302

CRITERIA: Salem Revised Code (SRC) Chapter 230
230.060(j) Lintels, Architraves, Sills, and other Architectural Details.

DECISION: Based upon the application materials deemed complete on April 26, 2017, and the findings as presented in this report, the application is APPROVED.

FINDINGS: The applicant proposes to restore the Deepwood Springhouse Gazebo, a historic contributing feature to Deepwood Estates and the Gaiety Hill/Bush's Pasture Park Historic district. Additionally, the applicant proposes to install a new French-drain system around the Gazebo. Staff determined that the following criteria from SRC Chapter 230 are applicable to this project:

Deepwood Springhouse Gazebo

230.060 (i) Lintels, Architraves, Sills, and other Architectural Details.

(1) Materials.

(A) Existing architectural details shall be retained.

Finding:

The applicant is proposing to restore and replace the damaged wood spindles and other character defining architectural details, thereby meeting SRC 230.060(i)(1)(A).

(B) Original material shall, if possible, be retained or repaired.

Finding:

The applicant is proposing to retain original material where feasible. Where retention of original material is not possible, wood will be repaired or replaced with in kind material. Staff finds that SRC 230.060(i) (1)(B) has been met.

(C) If replacement material is required, similar material shall be used.

**NOTICE OF
DECISION**

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
FAX: 503-588-6005



Finding:

The applicant is proposing to replace existing wood detailing within the Gazebo in poor condition with wood, an in-kind replacement. The current flooring of the Gazebo is a slab rock. This flooring is in poor condition, and the uneven floor retains water and is unsafe for the public, therefore the applicant is proposing to install a new concrete subfloor over new drain rock, and the existing slab rock flooring will be placed over the slab. Staff finds that SRC 230.060(i)(1)(C) has been met.

(2) Design.

(A) The replacement shall, to the greatest extent feasible, match design, size, proportions, and profile of the original architectural details.

Finding:

The applicant is proposing to rehabilitate the roof, replacing roofing and shingles as needed, with cedar shingling that match the existing. Architectural detailing that is suffering from dry rot or other damage will be replaced, and will match the design of the existing and repainted. The resource is an accessory structure to the Deepwood House, and all the work proposed will restore the original architectural detailing of this Queen Anne style Gazebo, thereby meeting SRC 230.060(i)(2)(A).

(B) Architectural details should not be added unless there is archival evidence suggesting their presence and design.

Finding:

No new architectural features will be added to the Gazebo as part of this proposal. The applicant is proposing to add a new concrete subfloor and drain rock underneath the Gazebo. Additionally, a French-drain system around the perimeter of the Gazebo will be installed. While these drainage alterations were not part of the original design, they will not be visible. These proposed alterations will not adversely impact the resource, but serve to protect it, by ensuring that future water run-off will run into a drywell in the lawn area, and not continue to damage the resource. Staff finds that SRC 230.060(i)(2)(B) has been met.

DECISION: Based upon the application materials deemed complete on April 26, 2017, and the findings as presented in this report, the application is APPROVED.



Kimberli Fitzgerald, AICP, Historic Preservation Officer
Planning Administrator Designee

kfitzgerald@cityofsalem.net; Phone: (503) 588-2397

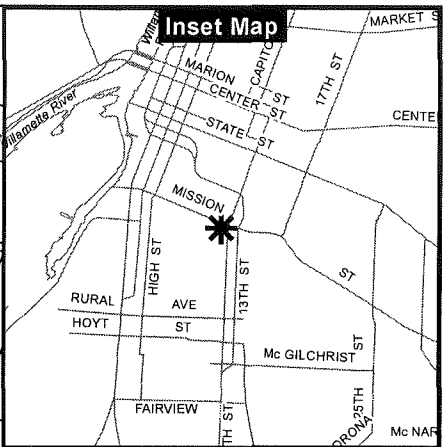
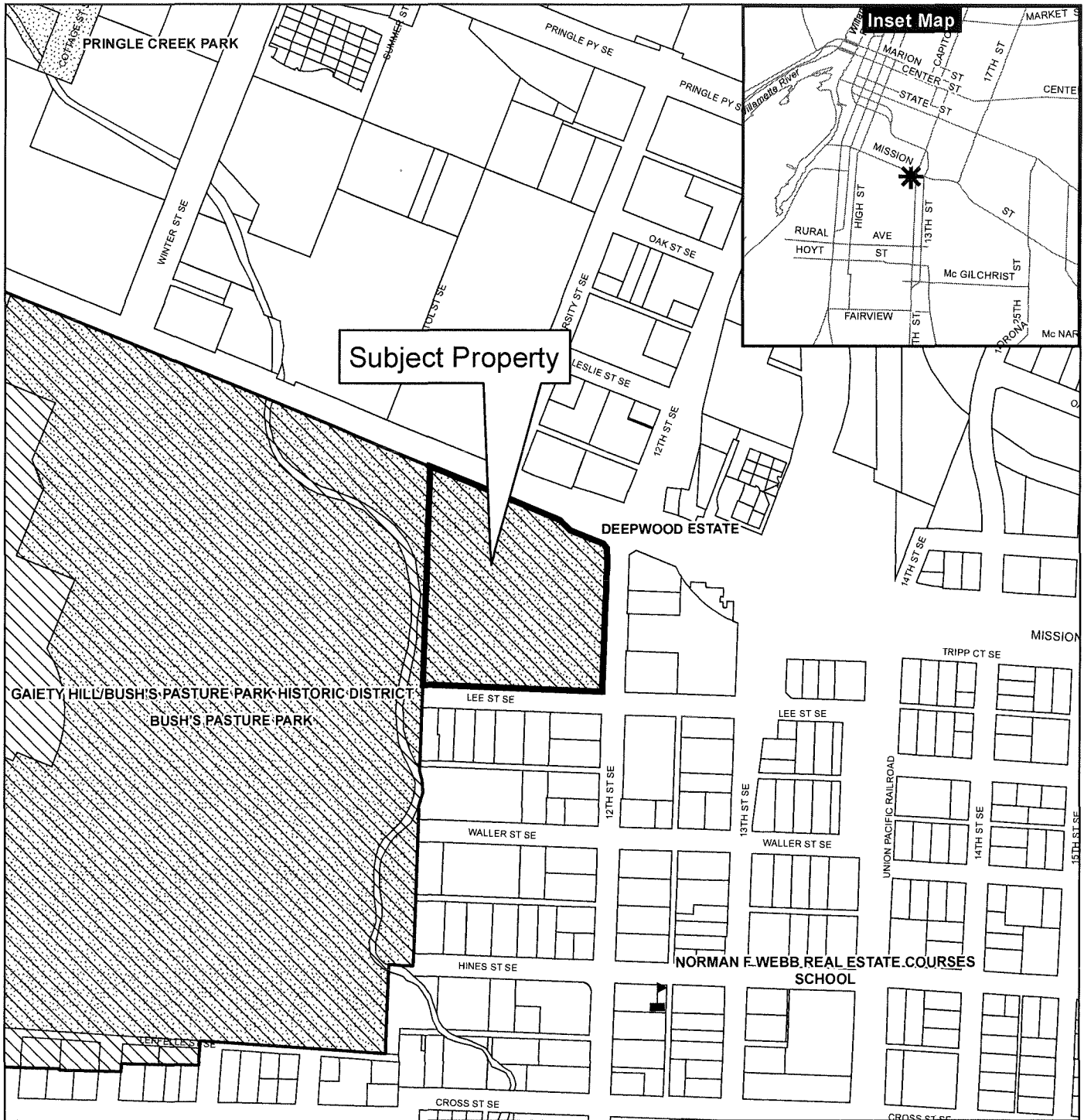
*This Decision becomes effective on **May 13, 2017**. No work associated with this Decision shall start prior to this date unless expressly authorized by a separate permit, land use decision, or provision of the Salem Revised Code (SRC).*

The rights granted by this decision must be exercised by May 13, 2019 or this approval shall be null and void.

Application Deemed Complete: April 26, 2017
Notice of Decision Mailing Date: April 27, 2017
Decision Effective Date: May 13, 2017
State Mandated Decision Date: August 24, 2017








This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem, OR 97301, **no later than 5:00 p.m., May 12, 2017**. The appeal must state where the decision failed to conform to the provisions of the historic preservation ordinance (SRC Chapter 230). The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Salem Historic Landmarks Commission will review the appeal at a public hearing. After the hearing, the Historic Landmarks Commission may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

Vicinity Map 1116 Mission Street SE

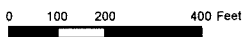


Subject Property

Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks

CITY OF *Salem*
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Community Development Dept.



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Case No. 41517-15

Historic Alteration Review - Public Resource Worksheet

Site Address: 1116 Mission Street SE, Salem, OR 97302

Resource Status: Contributing

Non- Contributing

Type of Work: Activity Proposed

Major

Minor

New Construction:

Replacement, Alteration, Restoration or Addition of:

Architectural Feature:

- Awning
- Door
- Exterior Trim, Lintel
- Other architectural feature
- Roof/Cornice
- Masonry/Siding
- Storefront
- Window(s) Number of windows: _____

Landscape Feature:

- Fence
- Streetscape
- Other Site feature (describe) _____

New:

- Addition
- New Accessory Structure
- Sign
- Mural
- Accessibility Ramp
- Energy Improvements
- Mechanical Equipment

Will the proposed alteration be visible from any public right-of-way? YES NO

Project's Existing Material: Wood Project's New Material: Wood

Project Description

Briefly provide an overview of the type of work proposed. Describe how it meets the applicable design criteria in SRC Chapter 230. Please attach any additional information (i.e., product specification sheets) that will help staff and the HLC clearly understand the proposed work:

The existing Deepwood Springhouse Gazebo will be restored: existing damaged wood members will be removed and replaced with replica wood pieces; the slab rock flooring will be removed so a concrete subfloor can be installed over new drain rock, and the rock slabs will be replaced; the roof will be rehabilitated with replica shingles as needed, and the structure will be repainted.

Drainage will be improved around the gazebo, with a french drain system around the perimeter and existing lawn.

Christina Lawson
Signature of Applicant

3/29/2017
Date Submitted/Signed

0 40' 80' 120'



review

DEEPWOOD ESTATES GAZEBO RESTORATION

REVISIONS			
NO.	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			

PN: 716408

HORIZ DATUM: MAD 83-SPCS
 VERT DATUM: NGVD 1929(47)
 HORIZ SCALE: AS SHOWN
 VERT SCALE: AS SHOWN
 DESIGN: CDV
 DRAWN: ALT
 CHECKED:

APPROVED:

SHEET TITLE

OVERVIEW

C-01

SHEET 1 OF ?

3/10/2017 10:43:43 AM
 C:\Users\cdv\Documents\Projects\Deepwood Springs Gazebo\Deepwood Springs Gazebo.dwg (C-01.MX)

review

**DEEPWOOD
ESTATES GAZEBO
RESTORATION**

REVISIONS			
NO.	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			

PN: 716408

HORIZ DATUM: MAD 83-SPCS
 VERT DATUM: NGVD 192847
 HORIZ SCALE: AS SHOWN
 VERT SCALE: AS SHOWN
 DESIGN: CDV
 DRAWN: ALT
 CHECKED:

APPROVED:

SHEET TITLE

GAZEBO PHOTOS

C-02

SHEET 2 OF ?



ROCK FLOOR SLABS WILL BE REMOVED AND REPLACED OVER CONCRETE SLAB THAT WILL BE INSTALLED BELOW GRADE

3/20/2017 1:00:04 PM
 C:\Users\mason\Desktop\Projects\Deepwood Estates\Gazebo\Deepwood Gazebo.dwg (C-02.rvt)

