

# NOTICE OF DECISION

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503-588-6173*

## ADMINISTRATIVE DECISION - MINOR HISTORIC REVIEW

**CASE NO.** Historic Review Case HIS17-22 / Amanda No. 17-109323-DR

**NOTICE OF DECISION DATE:** May 25, 2017

**SUMMARY:** A proposal to replace and modify the porch and awning and associated siding and sidewalk leading to the Parks House.

**REQUEST:** Minor Historic Design Review of a proposal to replace and modify the porch and awning and associated siding and sidewalk leading to the Parks House (1902), a historic, non-contributing resource within the Court-Chemeketa National Register Historic District, located at 1653 Chemeketa St NE, Marion County Assessor's Map and Tax Lot Number: 073W26AB10300.

**APPLICANT:** Michael Tardif

**LOCATION:** 1653 Chemeketa Street NE, Salem OR 97301

**CRITERIA:** Salem Revised Code (SRC) Chapter 230.030(d) Porches

**DECISION:** Based upon the application materials deemed complete on May 24, 2017, and the findings as presented in this report, the application is APPROVED.

### FINDINGS:

**SRC 230.030(d) Porches.** *Replacement of porches in non-contributing buildings is allowed.*

**(1) Materials.**

**(A)** *Building materials shall be of traditional dimensions.*

**Finding:** The applicant is proposing to use shingling of traditional dimensions for the roofing and both cedar lap siding and pressure treated lumber of traditional dimensions will be utilized in the porch reconstruction, thereby meeting SRC 230.030(d)(1)(A).

**(B)** *Replacement materials shall duplicate, to the greatest degree possible, appearance and structural qualities that are consistent with building materials on buildings in the district.*

**Finding:** The applicant is proposing to utilize pressure treated lumber and cedar lap siding, as well as composition shingles for the reconstruction of the porch. The applicant will be utilizing concrete in their reconstruction of the sidewalk leading up to the new porch, duplicating the material utilized in the existing sidewalk. The replacement materials utilized in the reconstruction of the porch and porch awning reflect materials and structural qualities consistent with building materials found

PLANNING DIVISION  
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SALEM, OREGON 97301  
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throughout the Court Chemeketa District, thereby meeting SRC 230.040(d)(1)(B).

**(C)** *Wood lap, shingles, brick, and stone are appropriate materials.*

**Finding:** The applicant is proposing to utilizing cedar lap siding and composition shingles for the reconstruction of the porch, thereby meeting SRC 230.040(d)(1)(C).

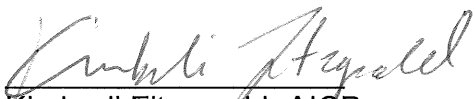
**(D)** *Alternative materials shall appear similar in scale, proportion, texture and finish with buildings in the district.*

**Finding:** The applicant will be utilizing pressure treated wood in addition to cedar lap siding, some of which will be painted, with the remainder stained with an oil finish. All materials utilized in the porch and awning reconstruction are consistent with those typically found throughout the Court Chemeketa Historic District, thereby meeting SRC 230.040(c)(2)(D).

**(2) Design.** *The design should be similar in dimension, style, pattern and detail to porches on buildings in the district.*

**Finding:** The applicant has proposed to reconstruct the porch and awning after the non-original awning failed and had to be removed, along with the associated siding. The applicant has proposed to construct a replacement awning and porch on the front façade. The existing window and door openings on this facade will be preserved, retaining the integrity of the façade, and the new sidewalk will align directly with the existing front entry. The size and shape of the proposed new porch and awning is compatible with the Parks House, and is similar in dimension, style and detail to porches and awnings found within the Court Chemeketa Historic District, thereby meeting SRC 230.040(c)(2)(B).

**DECISION:** Based upon the application materials deemed complete on May 24, 2017, and the findings as presented in this report, the application is APPROVED.



Kimberli Fitzgerald, AICP  
Historic Preservation Officer  
Planning Administrator Designee

[kfitzgerald@cityofsalem.net](mailto:kfitzgerald@cityofsalem.net); Phone: (503)540-2397

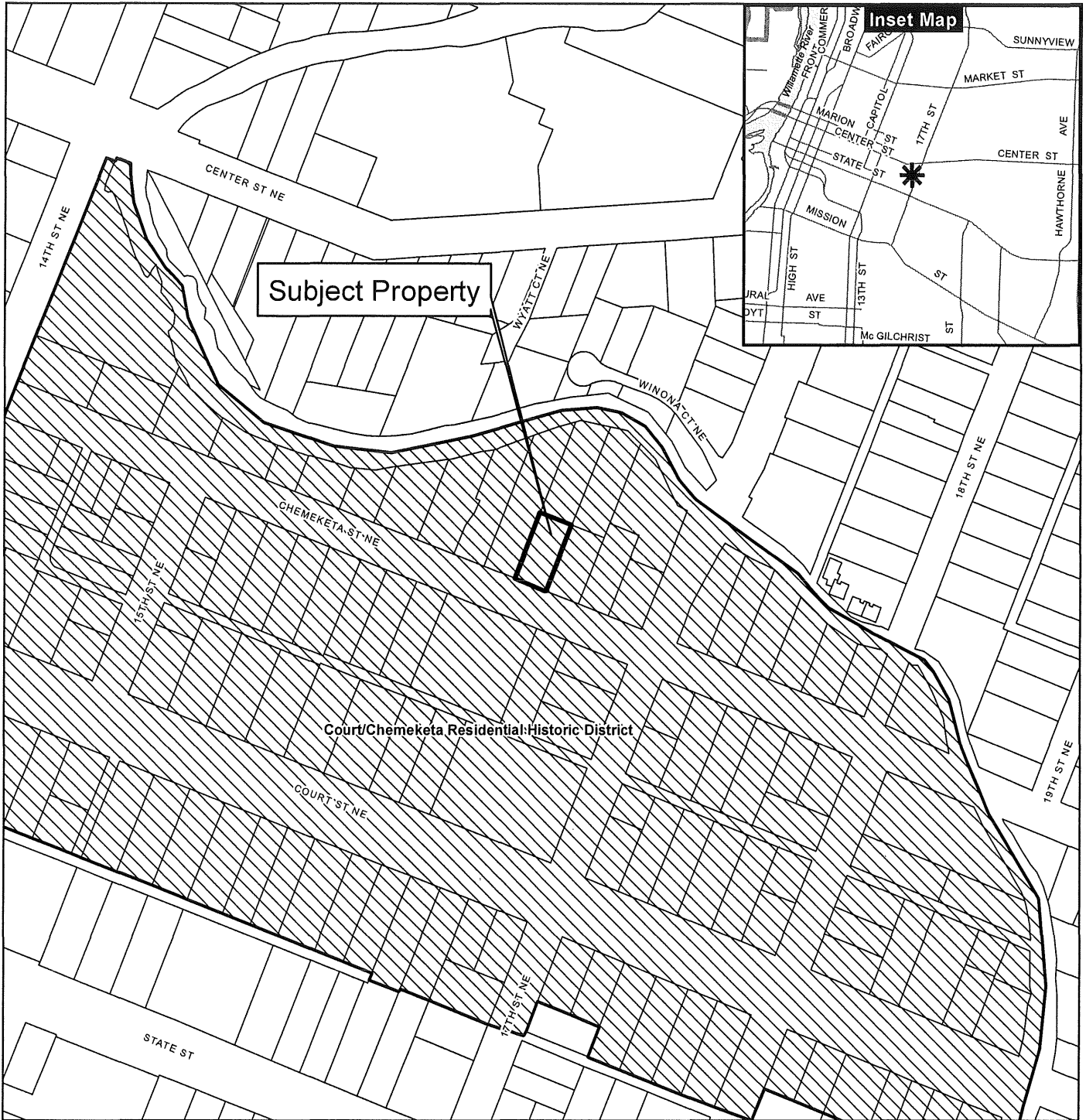
*This Decision becomes effective on **June 10, 2017**. No work associated with this Decision shall start prior to this date unless expressly authorized by a separate permit, land use decision, or provision of the Salem Revised Code (SRC).*

Application Deemed Complete: May 24, 2017  
Notice of Decision Mailing Date: May 25, 2017  
Decision Effective: June 10, 2017  
State Mandated Decision Date: September 21, 2017








The rights granted by this decision must be exercised by **June 10, 2019** or this approval shall be null and void.

This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem OR 97301, no later than **5:00 p.m., Friday, June 9, 2017**. The appeal must state where the decision failed to conform to the provisions of the historic preservation ordinance (SRC Chapter 230). The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Salem Historic Landmarks Commission will review the appeal at a public hearing. After the hearing, the Historic Landmarks Commission may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

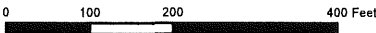
# Vicinity Map 1653 Chemeketa St NE



## Legend

-  Taxlots
-  Outside Salem City Limits
-  Parks
-  Urban Growth Boundary
-  Historic District
-  City Limits
-  Schools

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### Historic Alteration Review - General Resource Worksheet

Site Address: 1653 Chemeketa St. NE Resource Status:  Contributing  
 Individual Landmark  Non- Contributing

#### Type of Work Activity Proposed

Major  Minor

#### Replacement, Alteration, Restoration or Addition of:

**Architectural Feature:**

- Deck
- Door
- Exterior Trim
- Porch
- Roof
- Siding
- Window(s) Number of windows: \_\_\_\_\_
- Other architectural feature (describe) \_\_\_\_\_

**Landscape Feature:**

- Fence
- Retaining wall
- Other Site feature
- Streetscape

**New Construction:**

- Addition
- New Accessory Structure
- Sign
- Awning

Will the proposed alteration be visible from any public right-of-way?  YES  NO

Project's Existing Material: Wood and shingles Project's New Material: Wood (cedar and PT) & shingles

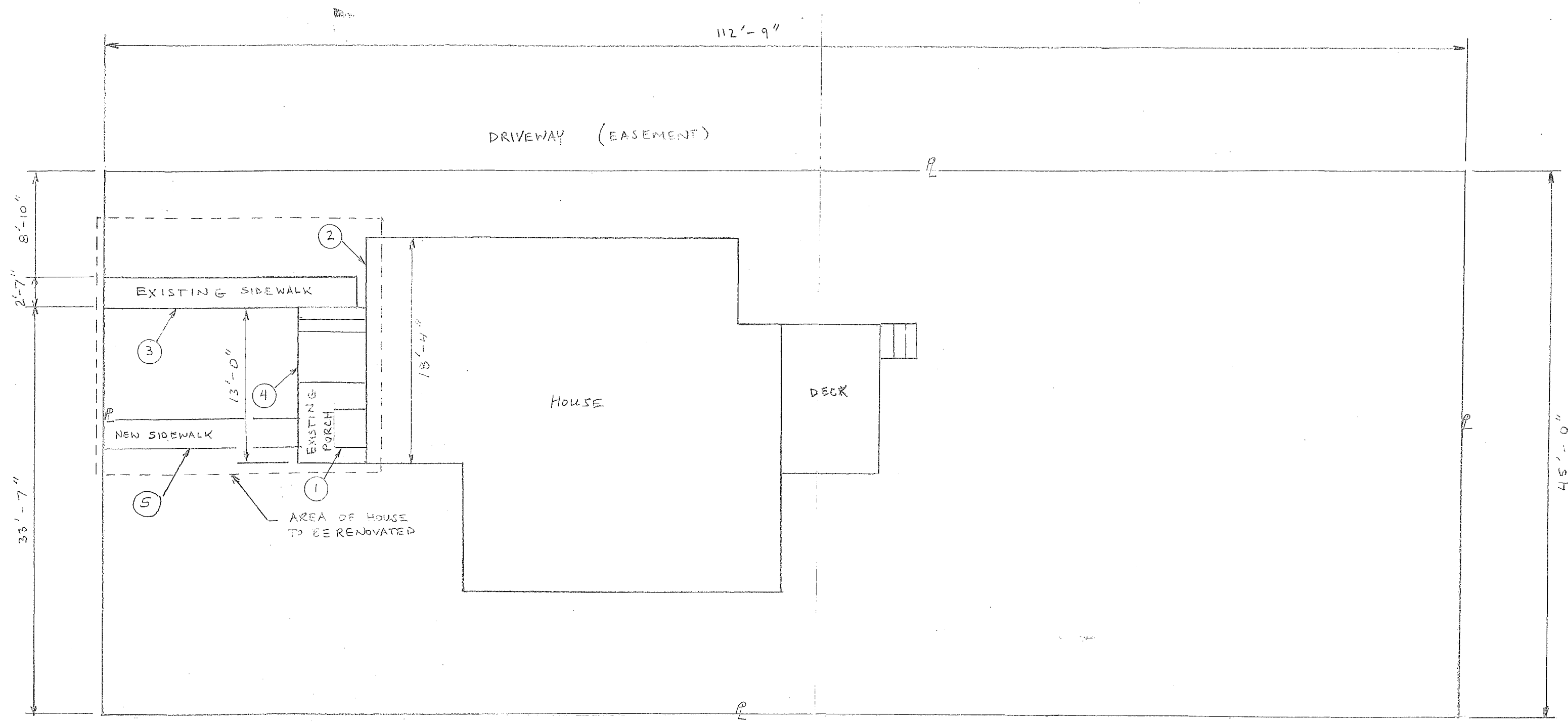
#### Project Description

Briefly provide an overview of the type of work proposed. Describe how it meets the applicable design criteria in SRC Chapter 230. Please attach any additional information (i.e., product specification sheets) that will help Staff and the HLC clearly understand the proposed work:

New walkway from city sidewalk to new front porch with covered roof. Please see plans. Will be constructed with a combination of pressure treated and cedar dimensional lumber. The new porch will have some elements painted to match the house and some elements will be oil finish.

[Signature]  
Signature of Applicant

\_\_\_\_\_  
Date Submitted/Signed



DRIVEWAY (EASEMENT)

112'-9"

8'-10"  
2'-7"  
38'-7"

EXISTING SIDEWALK

2

13'-0"

4

18'-4"

HOUSE

DECK

NEW SIDEWALK

EXISTING PORCH

5

AREA OF HOUSE TO BE RENOVATED

45'-0"

DRIVEWAY

NOTES:

- 1 REMOVE EXISTING AWNING AND CONSTRUCT NEW AWNING.
- 2 REMOVE EXISTING SIDING AND REPLACE WITH CEDAR LAP SIDING.
- 3 REMOVE EXISTING SIDEWALK TO HOUSE AND CONSTRUCT NEW SIDEWALK ALIGNED WITH FRONT DOOR.
- 4 REMOVE EXISTING PORCH AND REPLACE WITH NEW PORCH.

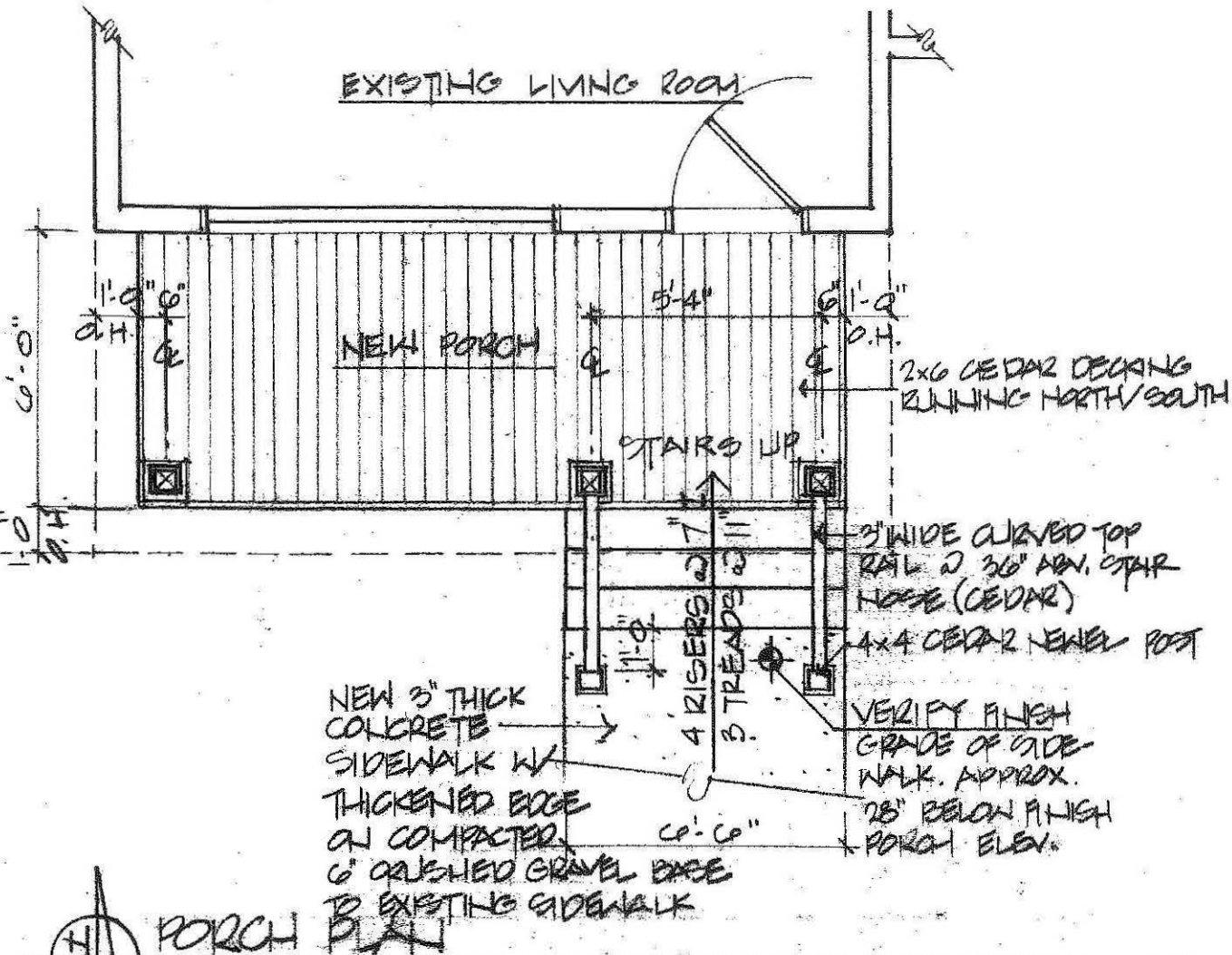
- 5 CONSTRUCT NEW SIDEWALK APPROACH.

SITE PLAN  $\frac{1}{8}'' = 1'$

NORTH

1653 CHEMERETA ST. NE  
SALEM OREGON 97301  
APRIL 8, 2017

SHEET 1 OF 1



NEW 3" THICK CONCRETE SIDEWALK W/ THICKENED EDGE ON COMPACTED 6" CRUSHED GRAVEL BASE TO EXISTING SIDEWALK

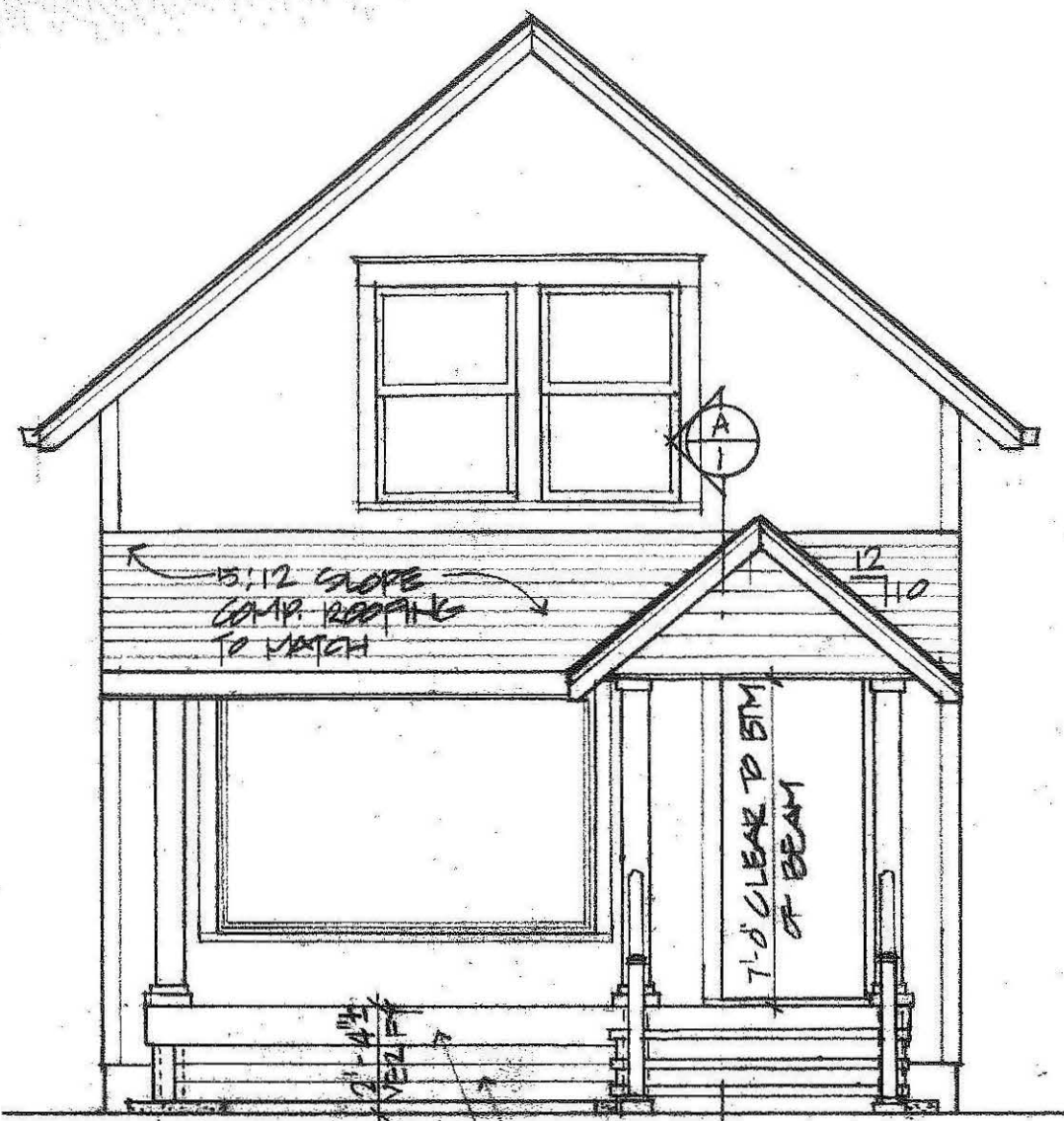
VERIFY FINISH GRADE OF SIDEWALK. APPROX. 28" BELOW FINISH PORCH ELEV.



PORCH PLAN

1/4" = 1'-0"

EXISTING CONCRETE FOTH.



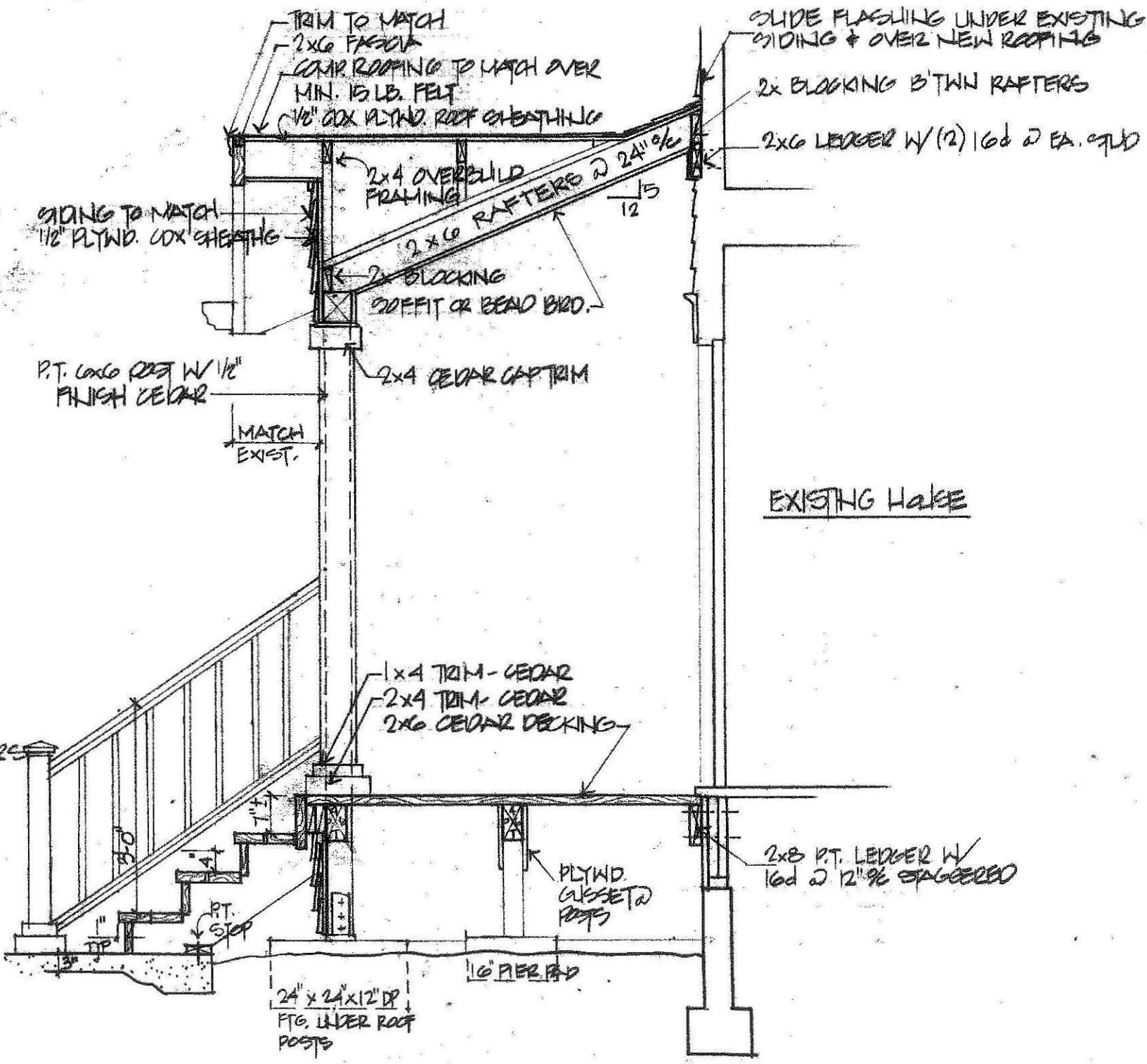
CEDAR SHIRT - 2x10 SIDING TO MATCH (ALT. LATTICE)  
SOUTH ELEVATION

1/4" = 1'-0"

SOUTH ELEVATION

1/4" = 1'-0"

1 GRADE MARKED STAMPED. ALL SPACING AT PANEL EDGES. INSTALL AXIS OF THE PANEL ACROSS SUPPORT PANEL CONTINUOUS OVER TWO OR UNLESS NOTED OTHERWISE ON PL ALONG PANEL EDGES. AND 12' IN THE



(A) CROSS SECTION

1/2" = 1'-0"





21° NNE true  
M:123° 01' 12.324"  
N:044° 56' 15.888"

