

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
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ADMINISTRATIVE DECISION - MINOR HISTORIC REVIEW

CASE NO.Historic Review Case HIS17-31 / Amanda No. 17-112071-DR

NOTICE OF DECISION DATE: July 5, 2017

SUMMARY: A proposal to replace brick pavers within the Lord & Schryver garden at the rear of the Gaiety Hollow Residence (1932).

REQUEST: Minor Historic Design Review of a proposal to replace brick pavers at the rear of the Gaiety Hollow Residence (1932), within the Lord & Schryver garden, individually listed on the National Register of Historic places, and a historic contributing resource within the Gaiety Hill/Bush's Pasture Park National Register Historic District. The subject property is zoned RS (Single Family Residential) and located at 545 Mission St SE, 97302 (Marion County Assessor Map and Tax Lot number 073W27DB00900).

APPLICANT: CB Two Architects for Bobbie Dolp, Lord & Schryver Conservancy

LOCATION: 545 Mission Street SE, Salem OR 97302

CRITERIA: Salem Revised Code Chapter 230.025(I).

DECISION: Based upon the application materials deemed complete on July 3, 2017, and the findings as presented in this report, the application is **APPROVED**.

Proposal:

The applicant is proposing to remove and reset the existing bricks within the paths located to the north of the Gaiety Hollow Residence within the Lord & Schryver designed garden. Many of the bricks are not level, or are in poor condition, especially those located along the edges of the paths. Where bricks must be replaced, they will duplicate, to the greatest degree possible, the appearance and physical qualities of the original brick. A portion of the brick path located at the north/center of the garden will be removed, and restored to its original appearance, which was grass (see Attachment D). Additional work will be done on the site to ensure that water drainage issues are addressed including installing weeps at each corner to allow drainage, and installing a new turf pathway over a grass paver in locations where grass is currently. Staff determined that the following standards from SRC 230.025 (I) (Site Features in Residential Historic Districts) are applicable to this project.

FINDINGS:

Criteria: 230.025 (I) Site Features. *Replacement or alteration of site features of a historic contributing building that are identified as significant features on the historic resource inventory for the district, including, but not limited to, driveways, sidewalks, gardens, significant trees, or geological features is allowed, unless the replacement*

or alteration would materially alter or destroy the features.

(1) Materials. *Materials shall duplicate, to the greatest degree possible, the appearance and physical qualities of the original materials. Example: Rhododendron hedge planted during the period of significance is replanted with heritage varieties available during the period of significance.*

Finding: The applicant is proposing to remove and reset a majority of the existing brick in place. Those bricks that have deteriorated beyond repair will be replaced with bricks that duplicate, to the greatest degree possible, the appearance and physical qualities of the original brick thereby meeting SRC 230.025 (I)(1).

(2) Design. *The design shall reproduce, to the greatest extent possible, the appearance of the original site feature. Example: If the site contains a Lord and Schryver garden, the replacements shall be allowed provided the original design and location of plantings of the historical garden are retained.*

Finding: The applicant is proposing to remove and reset the bricks within the existing Lord & Schryver designed garden, in order to straighten and restore the brick pathways, ensuring that they are level and even. Where bricks must be replaced, they will utilize "in-kind" bricks in order to replicate design and appearance. Additional work is proposed to address drainage issues on the site, including installation of grass pavers. New turf will be installed over the grass pavers, so the pavers will not be easily visible, ensuring that the original design is retained, while addressing the drainage issues. A portion of the brick path located at the north/center of the garden will be removed, and restored to its original appearance, which was originally grass, thereby meeting SRC 230.025(I)(2).

DECISION: Based upon the application materials deemed complete on July 3, 2017, and the findings as presented in this report, the application is **APPROVED**.



Kimberli Fitzgerald, AICP, Historic Preservation Officer
Planning Administrator Designee

kfitzgerald@cityofsalem.net; Phone: 503-540-2397

Attachments: A. Vicinity Map
B. Applicant's Submittal Materials
C. Historic Photo

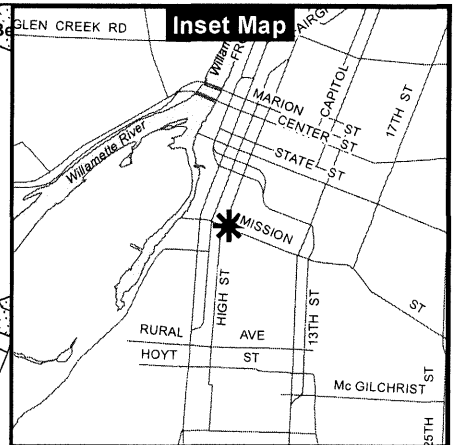
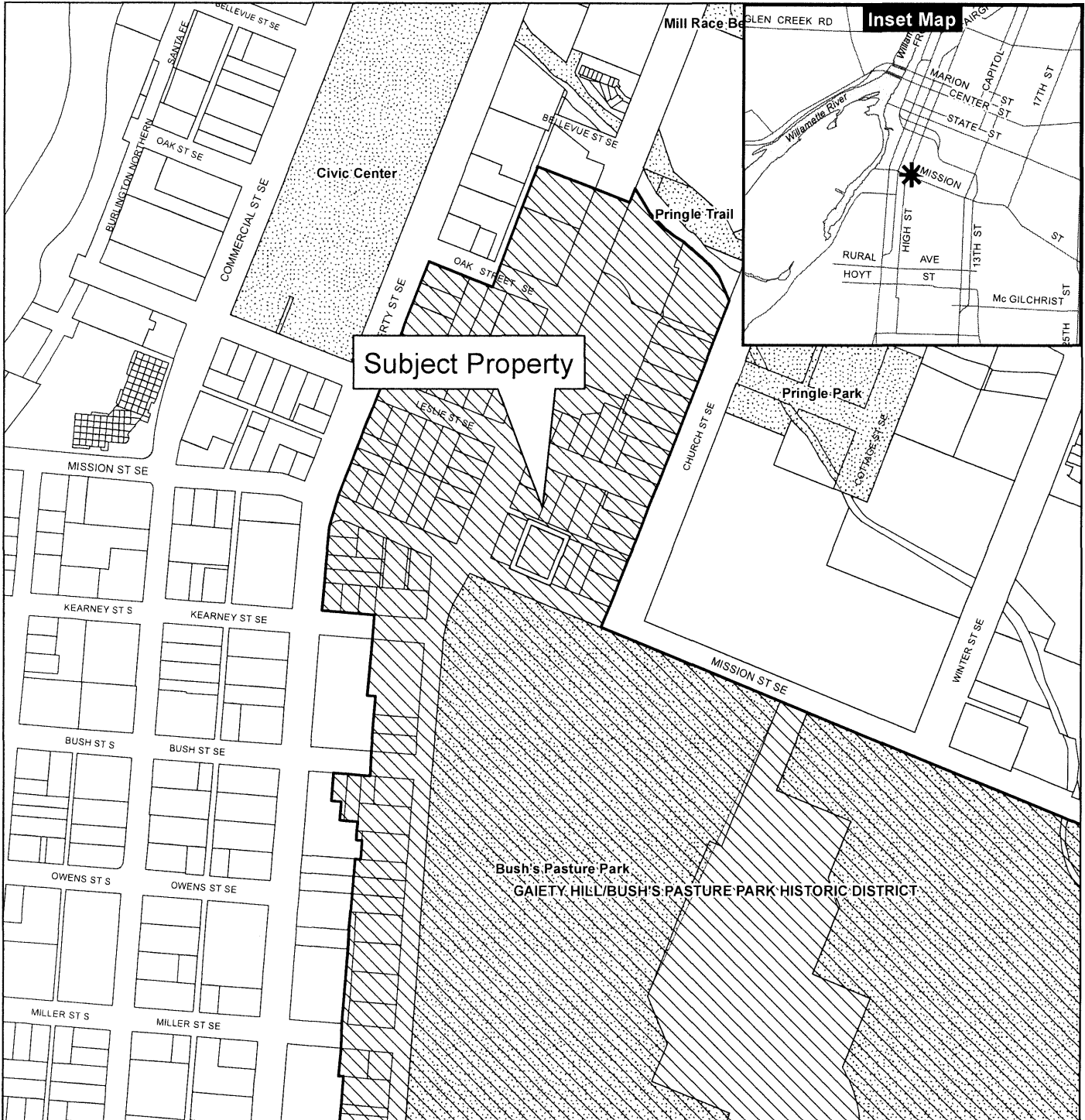
*This Decision becomes effective on **July 21, 2017**. No work associated with this Decision shall start prior to this date unless expressly authorized by a separate permit, land use decision, or provision of the Salem Revised Code (SRC).*

Application Deemed Complete: July 3, 2017
Notice of Decision Mailing Date: July 5, 2017
Decision Effective: July 21, 2017
State Mandated Decision Date: October 31, 2017








The rights granted by this decision must be exercised by July 21, 2019 or this approval shall be null and void.

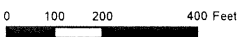
This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem OR 97301, **no later than 5:00 p.m., July 20, 2017**. The appeal must state where the decision failed to conform to the provisions of the historic preservation ordinance (SRC Chapter 230). The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Salem Historic Landmarks Commission will review the appeal at a public hearing. After the hearing, the Historic Landmarks Commission may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

545 Mission St SE



Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



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Historic Alteration Review Worksheet

Site Address: 545 Mission St. SE

Resource Status: Contributing Non- Contributing Individual Landmark

Type of Work Activity Proposed: Major Minor

Chose One: Commercial District Individual Resource Public District
Residential District Sign

Replacement, Alteration, Restoration or Addition of:

Architectural Feature:

- Awning
- Door
- Exterior Trim, Lintel
- Other architectural feature
- Roof/Cornice
- Masonry/Siding
- Storefront
- Window(s) Number of windows: _____

Landscape Feature:

- Fence
- Streetscape
- Other Site feature (describe)
Brick pathway

New:

- Addition
- Accessory Structure
- Sign
- Mural
- Accessibility Ramp
- Energy Improvements
- Mechanical Equipment
- Primary Structure

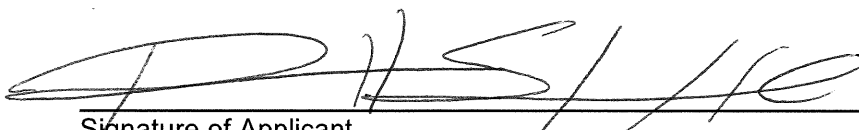
Will the proposed alteration be visible from any public right-of-way? Yes No

Project's Existing Material: Brick Project's New Material: Brick

Project Description

Briefly provide an overview of the type of work proposed. Describe how it meets the applicable design criteria in SRC Chapter 230. Please attach any additional information (i.e., product specification sheets) that will help staff and the HLC clearly understand the proposed work:

The concervancy wants to removed and reset existing paths with existng brick to level, straighten and direct water off the paths. We also want to remove the brick edging along the sides of the pathway and replace with new color matching or reclaimed brick. Much of the existng edging is broke, chipped or missing. Some of the pathways will be removed and replaced with sod as is shown in the attached images durring the period of signifigance. See attached RFP and other documents for more information.


Signature of Applicant

6/13/2017

Date Submitted/Signed

June, 13th 2017

APPLICANT'S STATEMENT

Historic Design Review (Minor) Gaiety Hollow located at
545 Mission Street SE, Salem, Oregon

APPLICANT: Lord & Schryver Conservancy, PO Box 2755, Salem, OR 97302

PROPERTY OWNER: Lord & Schryver Conservancy, PO Box 2755, Salem, OR 97302

REPRESENTATIVE: Russell Schutte, CBTwo Architects, 500 Liberty Suite 100, Salem, OR 97301

SECTION 230.020 HISTORIC DESIGN REVIEW.

A. APPLICABILITY

This is a request for a Minor Historic Design Review to permit to remove and replace/reinstall the brick pathway in the back garden to improve its degraded look, fix drainage issues and replace broken and/or missing pieces. Any NEW brick purchased for the path or borders would be same size, material and color matched to close as possible to existing. This intended work will be done in the rear garden of the Historic Contributing property known as "Gaiety Hollow" at 545 Mission Street SE. This review is a requirement under section 230.020.a.1.E See **Exhibit I** for Vicinity map

B. OBJECTIVES

In all efforts to bring the property back to its original condition the Conservancy would like to remove, repair and or replace the existing pathway and garden bed edging with existing or new replica materials. The exact size, material and location can be seen in the Exhibits provided (see Attached RFP).

C. CLASSES

This project requires a "Minor" review under Classes 230.025(f,l) and 230.065.

D. PROCEDURE TYPE

(1) This Type I application is in accordance with Salem Revised Code Chapter 300.

E. ADDITIONAL SUBMITTAL REQUIREMENTS

1. See attached RFP for construction materials and key details.
2. Existing and Historical images of the garden paths and its location can be seen in the RFP
(This is a Lord and Schryver garden)

F. APPLICABLE APPROVAL CRITERIA

Please review all materials including application, worksheet, Drawings, images and fees. I believe the minimum requirements are provided set forth in this chapter under (Ord. No. 34-10; Ord. No 25-13) I hope you determine the finding acceptable and approve the request for the stated project above.

PROJECT DESCRIPTION:

The Lord & Schryver Conservancy desires to preserve, replace and reset the deteriorating clay brick pathways and the boarder "edging" bricks. The intended purpose is to have a smooth continuous walking surface that properly drains and will last the test of time (for another 50 years). The design intent is to keep the exact placement and location of the pathways while straightening and aligning the boarders, thereby preserving the historic cultural landscape of Gaiety Hollow.

Wherever possible, the awarded Contractor shall engage best practices for the treatment of the historic landscaping, as outlined in "Guidelines for the Treatment of Cultural Landscapes" as per the Secretary of the Interior's Standards for the Treatment of Historic Properties at:

<http://www.nps.gov/tps/standards/four-treatments/landscape-guidelines/index.htm>, utilizing the utmost care to protect and preserve all extant plant material, carpentry, and landscape elements at Gaiety Hollow. Wherever possible, careful hand/manual labor is the preferred method construction.

IMPORTANT NOTES:

This site is a historic cultural landscape garden. Some of the plants contained in the garden are considered heritage and are rarely available for purchase in the current nursery trade, and cannot be replaced if damaged. Therefore, every effort shall be made by the installing contractor, to preserve and protect all existing plants at all times.

This site is a public place. It is maintained by volunteers. Therefore, every effort shall be made by the installing contractor to coordinate all onsite activities with the OWNER's Agent.

There is to be no smoking onsite at any time.

The use of gas-powered equipment is expressly discouraged on the site. (See comments on trenching, below.)

Contractor may provide bathroom unit in designated location approved by OWNER's Agent prior to construction.

There is to be no parking onsite or in the rear alley at any time; except for the loading and unloading of materials. Twenty-four hour notice is required for this privilege. All materials are to be stored or staged offsite and trucks are to be parked offsite at all times during construction.

All Masonry to be preserved OR saved must be kept in the same area from which it was removed. Numbering or marking bricks is encouraged to keep the historic continuity as much as possible.

Contractor shall at all times maintain an orderly and clean jobsite, and is responsible for all erosion control during the course of the work, regardless of weather conditions. At the end of each work day, Contractor shall sweep effected hardscape areas, neatly stack construction supplies, cover, mark and tape off all open trenches with brightly colored safety tape and signage to protect the public or visitors to the garden during construction.

Pathway Project: Contractor shall,

Provide & install all new and salvaged masonry to current industry standards. Provide & install all areas with proper compacted base material. Project estimate must include proper removal of existing brick, cleaning and care of salvaged brick, sand, mortar, equipment, mobilization, hand labor, and LCP (Licensed Construction Professional in Oregon) supervision, as well as the following components:

SEE (EXHIBIT A and A1) for existing site plan and images

The Job Captain or Supervisor must check in Daily with the onsite curator with any questions or concerns throughout the project.

Field verify all measurements prior to start. Brick must be laid in exact orientation and pattern as it is removed.

Carefully Remove, clean and preserve all edging bricks in areas noted on (Exhibit B, C)
(Aprox. 300 linear feet of boarder brick)

Carefully Remove, clean and preserve all pathway brick in areas noted on (Exhibit B,C)
(Aprox. 300sqft of pathway brick)

Owner will provide New or Historical significant bricks to be installed in the boarders.

Provide & Install compacted sand and gravel bed surface for pathways and boarders to be set on.

Provide lime based mortar to set the edging bricks in to keep them from shifting.

Reinstall and grout set the pathway bricks same as elsewhere in the garden see (Exhibit D, E)

Rebuild center Statue pedestal with salvaged bricks. See (Exhibit F) for drawings and images

Provided drawings and specifications must be looked at carefully and followed with best precision to keep the intent and historical correctness of the garden walks.

Provide and install 1 ½" conduit sleeves under pathways for existing and future expansion of the irrigation system see (Exhibit D) for locations

Provide weeps and in areas where water could get trapped and pond (corners), allow for draining into flower beds.

Provide and install water sealant on pathways per product standards. (contractor do determine best product to use for the application if it is recommended)

Provide and install Micro channel French drains by NDS or sim. At locations seen on (Exhibit E) the product is to be dark in color and cut to fit the width of the path. www.ndspro.com

Remove Masonry path and replace the North pathway with new turf, Type will be specified by curator and all turf will be laid over "Tufftrack Grass Pavers" or sim interlocking turf reinforcement and a minimum of 3" of new topsoil. See (Exhibit A) for location.

Remove clean and salvage the pathway to the east of the Pergola and replace with a 4 brick wide path and grass sides as seen on historic image (Exhibit D, E) Turf will be laid over "Tufftrack Grass Pavers" or sim and a minimum of 3" of new topsoil

Provide Plastic or Metal "L" shape "Pave Edge", "Edge Pro" or sim. brand of masonry edging for areas in or next to turf.

It is recommended that grade be shot to ensure proper drainage to alleviate ponding and that an intricate string line grid be installed prior to construction to ensure accuracy of the reinstalled masonry. Drawings will be provided to show proper dimensions and areas of removal and areas to be left alone.

The center Statue pedestal area will be raised 3" (roughly) in elevation to ensure the paths slope away from the center point in each direction.

Remove, salvage and replace edging bricks around pergola with new brick provided by owner. Install in same manner as other edging, on edge lengthwise and in mortar.

The Scope of work is to end at the west side of the Pergola unless otherwise directed.

Provide owner with an O & M manual in digital and hard copy with rain & dirt-resistant cover. O & M Manual shall include all owner's manuals, warrantee information, servicing/care information, contact information, etc.;

Provide hand labor for trenching in planter areas as deemed appropriate and necessary. NO MECHANICAL TRENCHING IN PLANTER BED. Contractor shall make every effort to provide irrigation trenching (conduit) under pathways and lawns in the garden. Trenching in plant beds is not permitted at any time, other than with prior arrangement with Owner's Agent. The same goes for compaction machine. There is to be no mechanical (gas-powered) equipment in planting bed and pathway areas. This includes the use of a trenching and compaction machines. The use of trenching or compaction machinery may be used if arranged in advance with OWNER and with OWNER's Agent oversight during construction activities.

Contractor shall provide full restoration of all disturbed areas, including pathway hardscapes, Flower beds and damaged plants.

For More information or further detailed drawings and instruction feel free to call or email Lindsey Kerr "curator" of the Lord and Schryver Conservancy at address above.

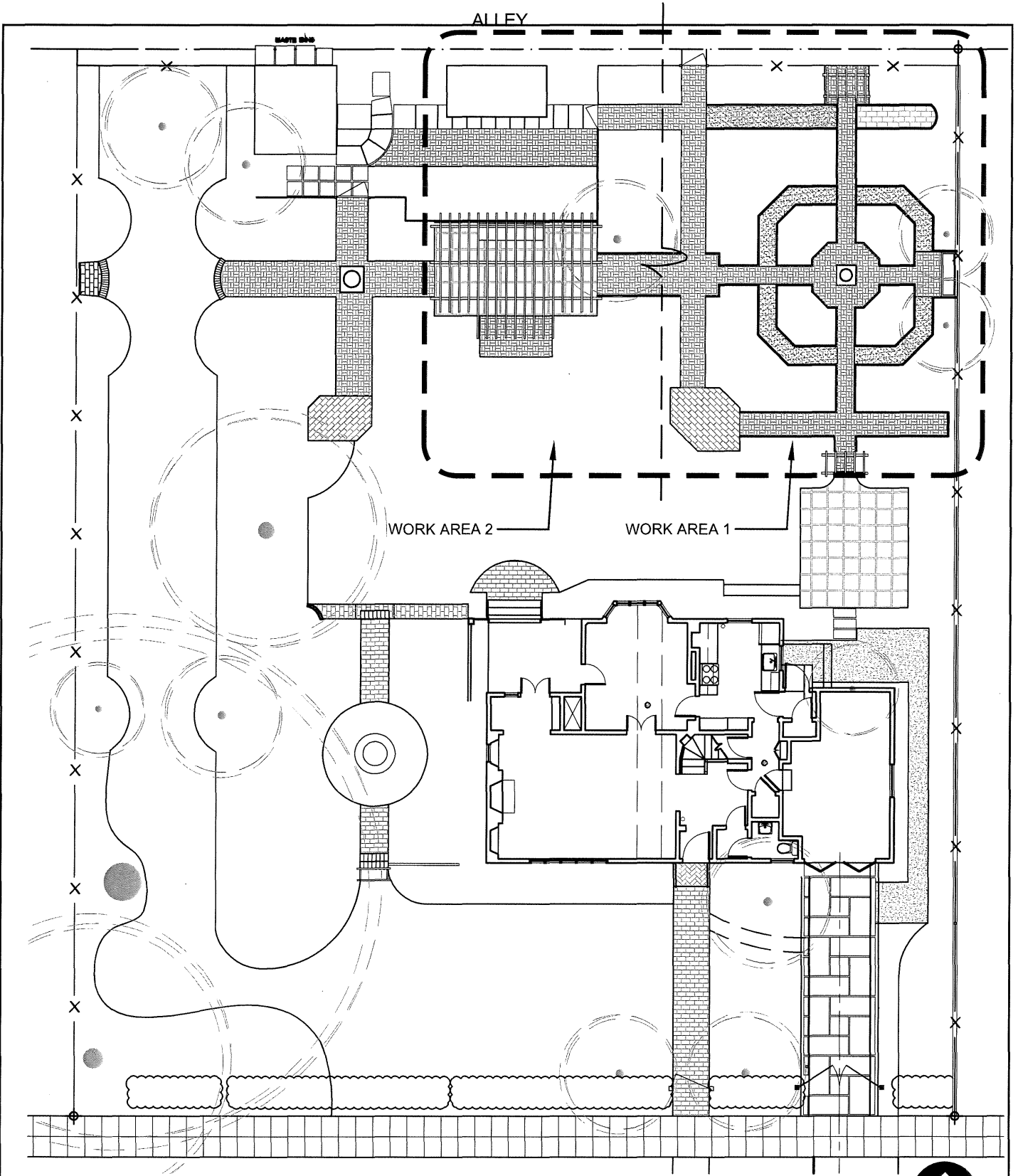


EXHIBIT A (FULL SITE)

AREA OF WORK HIGHLIGHTED
EXISTING CONDITIONS



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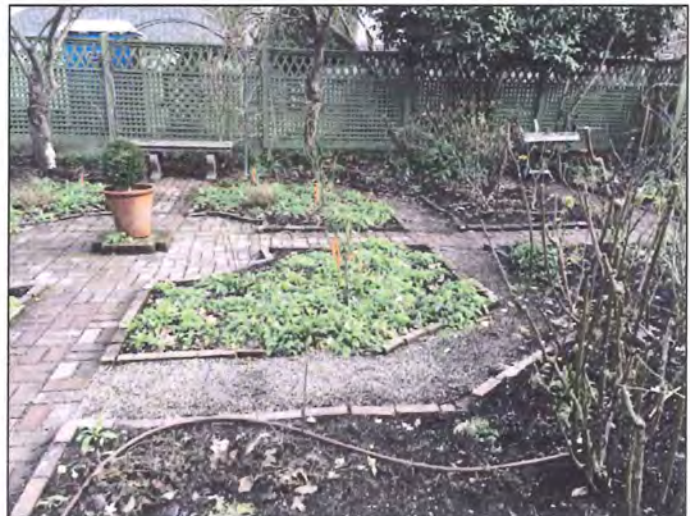
LOOKING EAST



LOOKING NORTH



LOOKING SOUTH



LOOKING EAST

EXHIBIT A1 EXISTING SITE IMAGRY

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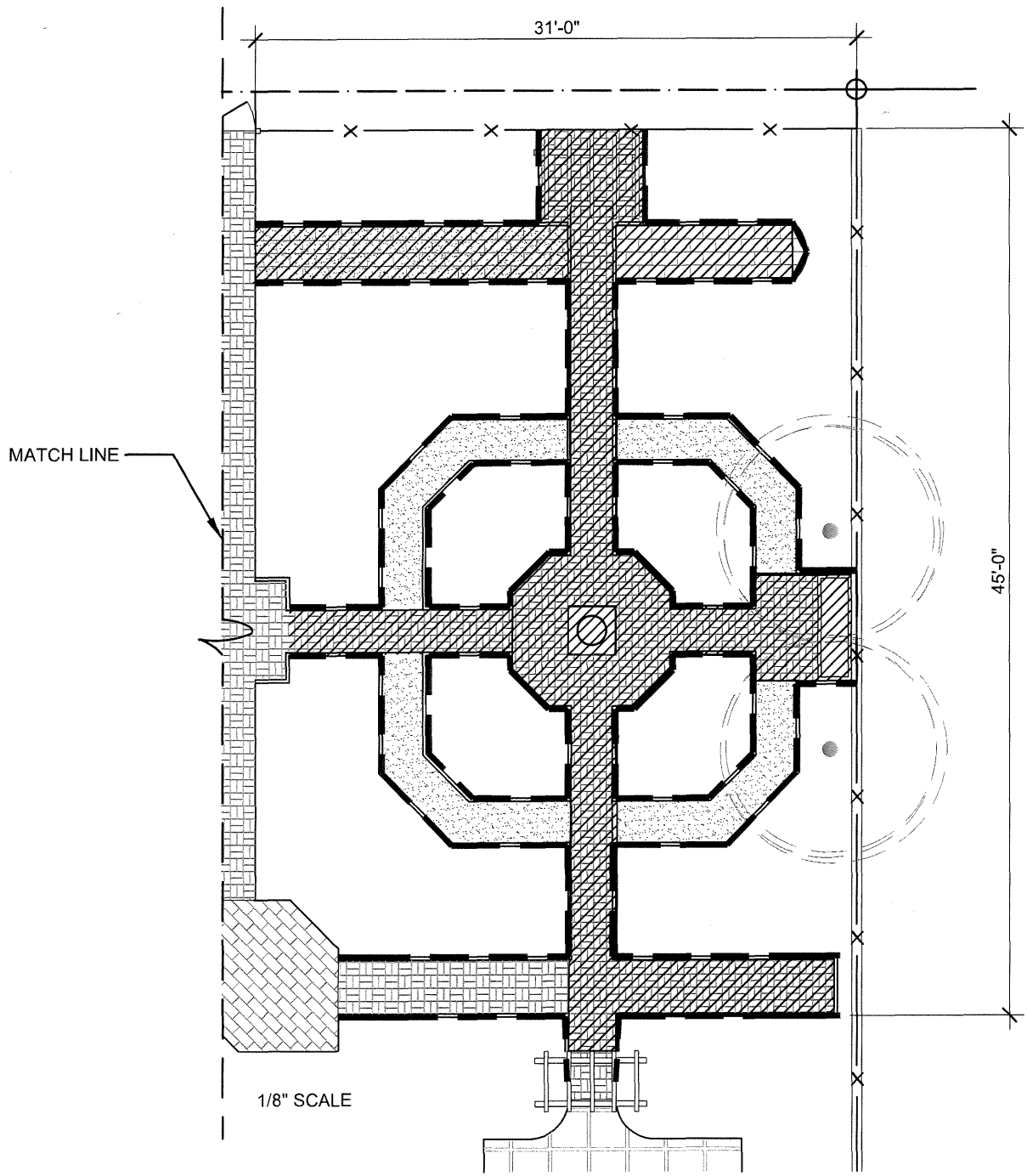

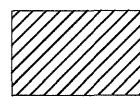


EXHIBIT B (WORK AREA 1)

-  MASONRY BOARDER TO BE REMOVED/REPLACED
-  MASONRY PATHWAY TO BE REMOVED/REPLACED

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ALLEY

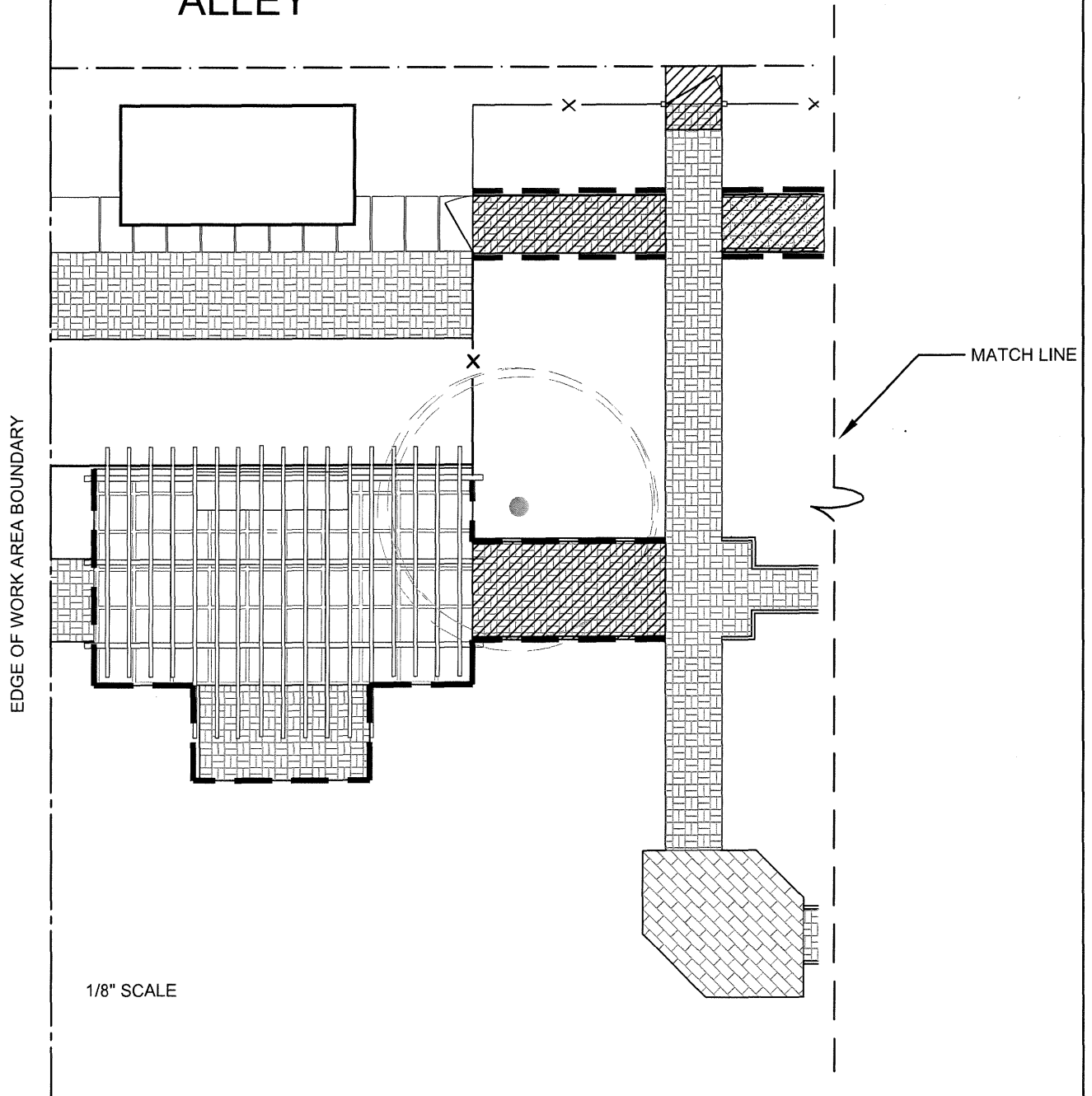
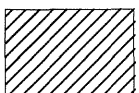


EXHIBIT C (WORK AREA 2)

— MASONRY BORDER TO BE REMOVED/REPLACED



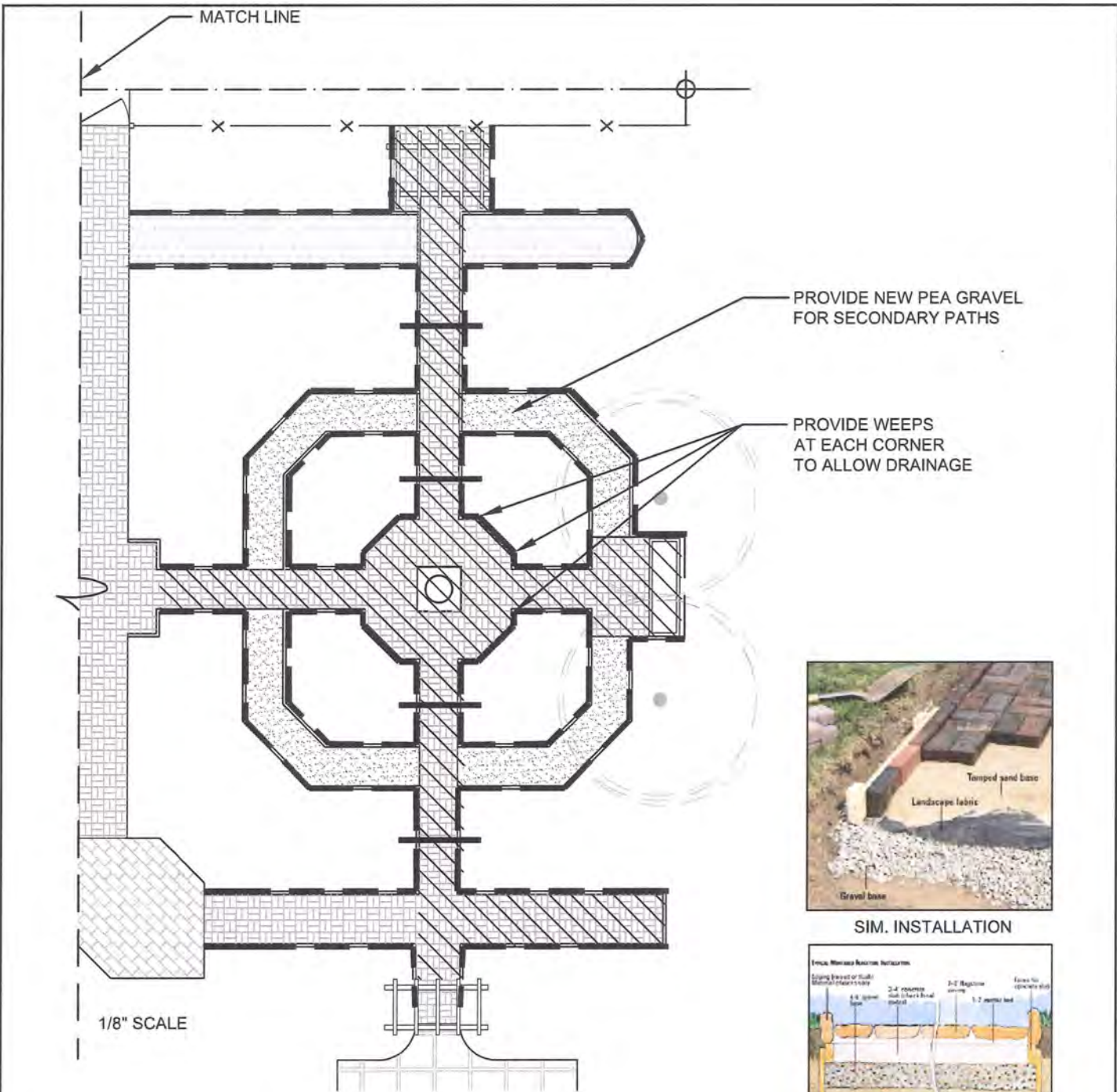
MASONRY PATHWAY TO BE REMOVED/REPLACED

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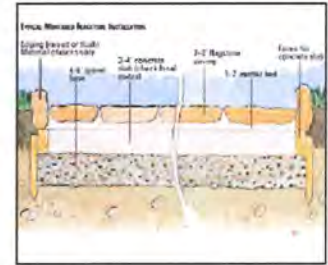
PROVIDE NEW PEA GRAVEL FOR SECONDARY PATHS

PROVIDE WEEPS AT EACH CORNER TO ALLOW DRAINAGE

1/8" SCALE



SIM. INSTALLATION



SIM. INSTALLATION

EXHIBIT D (WORK AREA 1)

- NEW 1 1/2" CONDUIT UNDER PATH FOR IRRIGATION
- NEW BOARDER MASONRY (LAID IN MORTAR)
- NEW TURF PATHWAY OVER "TUFFTRACK" GRASS PAVER OR SIM. PRODUCT
- NEW GROUTED MASONRY PATHWAY, USE EXISTING SALVAGED BRICK

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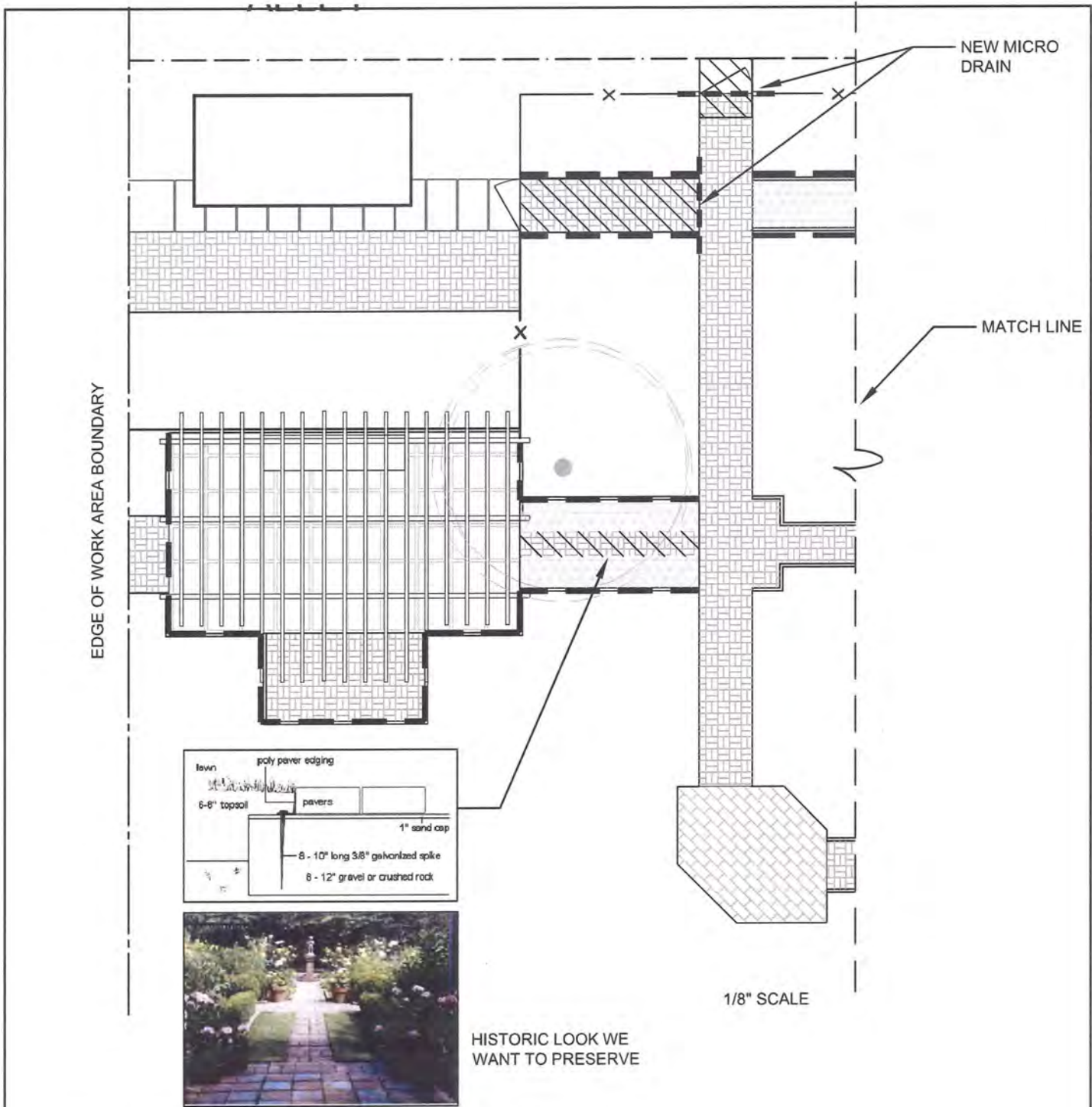

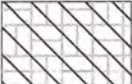


EXHIBIT E (WORK AREA 2)

- NEW "MICRO DRAIN" AT BRICK EDGE
- NEW BOARDER MASONRY (LAID IN MORTAR)
-  NEW TURF PATHWAY OVER "TUFFTRACK" GRASS PAVER OR SIM. PRODUCT
-  NEW GROUTED MASONRY PATHWAY, USE EXISTING SALVAGED BRICK

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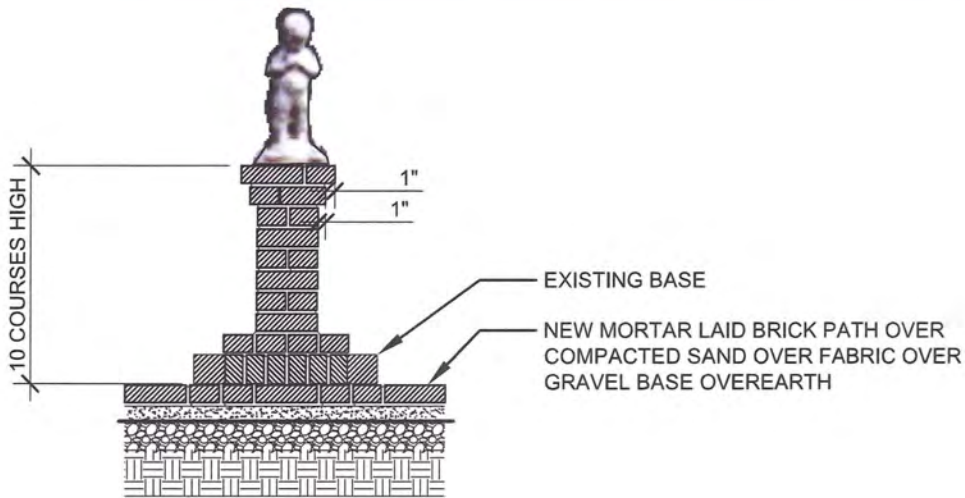


EXHIBIT F

RECONSTRUCT STATUE PEDESTAL PER HISTORIC
IMAGERY, USE RECLAIMED HISTORIC BRICK FOR THIS

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